



**COUNTY OF SAN MATEO - PLANNING AND BUILDING DEPARTMENT**

**ATTACHMENT**

# NEW SINGLE FAMILY HOME: VERDURA RESIDENCE

## TBD LA HONDA ROAD, SAN GREGORIO,

BRIAN BRINKMAN  
DRAFTING & DESIGN  
1690 Francisco Blvd.  
Pacific, CA 94044  
(650) 922-7993



### ABBREVIATIONS

@	AT NUMBER	N	NORTH
#	NUMBER	(N)	NEW
AB	ANCHOR BOLT	N/A	NOT APPLICABLE
A/C	AIR CONDITIONER	NA	NOT AVAILABLE
AFF	ABOVE FINISHED FLOOR	NIC	NOT IN CONTRACT
APPROX	APPROXIMATE	NOM	NOMINAL
ASF	ABOVE SUBFLOOR	NR	NON-RATED
AS	ABOVE SLAB	NSF	NET SQUARE FEET
		NTS	NOT TO SCALE
BLDG	BUILDING	O	OVEN
BLK	BLOCK	OA	OVERALL
BLKG	BLOCKING	OC	ON CENTER
BM	BEAM	OD	OUTSIDE DIAMETER OR OVERFLOW DRAIN
BOT	BOTTOM	OFF	OFFICE
CAB	CABINET	OPNG	OPENING
CB	CATCH BASIN	OH	OVERHANG
CL	CENTERLINE	O/H	OVERHEAD
CLG	CEILING	OPP	OPPOSITE
CLST	CLOSET		
CMU	CONCRETE MASONRY UNIT	R	RADIUS
CO	CLEAN OUT	RAG	RETURN AIR GRILLE
COL	COLUMN	RD	ROOF DRAIN
CONC	CONCRETE	REF	REFRIGERATOR
CONT	CONTINUOUS	REINF	REINFORCED OR REINFORCEMENT
		REQD	REQUIRED
D	DRYER	REV	REVISION
DBL	DOUBLE	RHB	RADIANT HEATING BOILER
DEPT	DEPARTMENT	RM	ROOM
DEG	DEGREES	RO	ROUGH OPENING
DIA	DIAMETER	ROW	RIGHT-OF-WAY
DIM	DIMENSION	S	SOUTH
DN	DOWN	SB	SETBACK
DR	DOOR	SCHED	SCHEDULE
DS	DOWNSPOUT	SD	SMOKE DETECTOR/STORM DRAIN
DW	DISHWASHER	SF	SQUARE FEET OR SQUARE FOOT
DWG	DRAWING	SH	SHOWER HEAD
		SHT	SHEET
(E)	EXISTING	SHWR	SHOWER
EA	EACH	SHTG	SHEATHING
ELEC	ELECTRICAL	SIM	SIMILAR
ELEV	ELEVATION	SL	SLIDING
ENG	ENGINEER	SPEC	SPECIFICATION
EQPT	EQUIPMENT	SQ	SQUARE
EXT	EXTERIOR	SS	SANITARY SEWER
FAU	FORCED AIR UNIT	STL	STEEL
FAR	FLOOR AREA RATIO	STOR	STORAGE
FD	FLOOR DRAIN	STRUCT	STRUCTURAL
FF	FINISHED FLOOR	SUB	SUBCONTRACTOR
FIN	FINISH	SUBFLR	SUBFLOOR
FL	FLOOR	SW	SHEAR WALL
FLUOR	FLUORESCENT	SYM	SYMMETRICAL
FOUND	FOUNDATION	T	TILE, TREAD, TOP, OR TRANSFORMER
FP	FIREPLACE	T & G	TONGUE AND GROOVE
FT	FOOT OR FEET	TBD	TO BE DETERMINED
FTG	FOOTING	TEL	TELEPHONE
FURN	FURNACE	THK	THICK
G	GAS	TO	TOP OF
GA	GAUGE	TOC	TOP OF CURB
GALV	GALVANIZED	TOP	TOP OF PLATE
GC	GENERAL CONTRACTOR	TOS	TOP OF SUBFLOOR
GD	GARBAGE DISPOSAL	TOW	TOP OF WALL
GL	GLASS	TP	TOP OF PAVEMENT
GR	GRADE	TV	TELEVISION
GYP BD	GYPSUM BOARD	TYP	TYPICAL
		UNO	UNLESS NOTED OTHERWISE
HC	HANDICAP	VERT	VERTICAL
HDR	HEADER	W	WEST, WASHER, OR WATER
HDWD	HARDWOOD	W/	WITH
HT	HEIGHT	WC	WATER CLOSET
HORIZ	HORIZONTAL	WD	WOOD
HR	HOUR	WH	WATER HEATER
INSUL	INSULATION	W x H	WIDTH BY HEIGHT
INT	INTERIOR	WNDW	WINDOW
		W/O	WITHOUT
JT	JOINT OR JOINT TRENCH	WP	WATERPROOF
		WR	WATER RESISTANT
LINEN	LINEN CLOSET	WT	WEIGHT
LAM	LAMINATE		
LAV	LAVATORY		
LT	LIGHT		
MAX	MAXIMUM		
MECH	MECHANICAL		
MFR	MANUFACTURER		
MH	MANHOLE		
MIN	MINIMUM		
MISC	MISCELLANEOUS		
MLDG	MOULDING		
MTD	MOUNTED		
MTL	METAL		

### PROJECT SCOPE

NEW TWO-STORY, SINGLE-FAMILY HOME WITH 3-CAR ATTACHED GARAGE, WITH GRADING FOR NEW HOME, DRIVEWAY, AND FIRE TRUCK TURN AROUND. (N) APPROX. 2.5-ACRE HAY HARVESTING AREA.

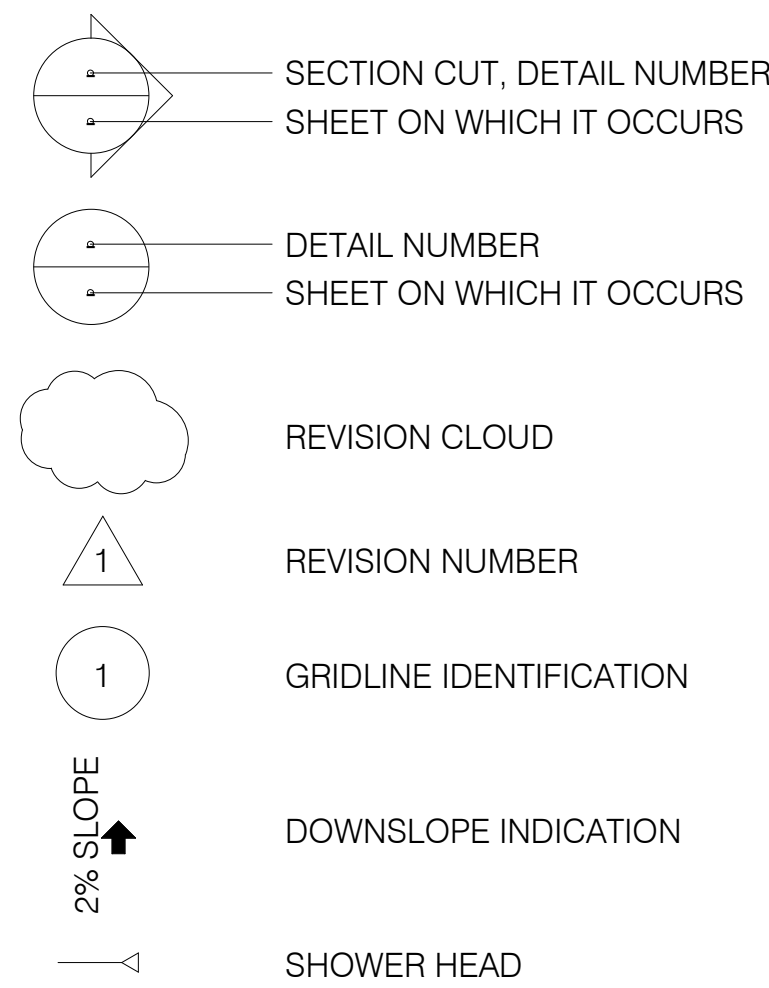
### PLANNING DATA

PROJECT COMMON ADDRESS:  
TBD LA HONDA RD  
SAN GREGORIO, CA 94074  
ASSESSOR'S PARCEL NUMBER: 082-160-130  
ZONING: PAD/CD

### BUILDING CODE DATA

TYPE OF OCCUPANCY: R3/U  
CONSTRUCTION TYPE: VB  
BEARING AND NON-BEARING WALLS (LESS THAN 5' FROM PROPERTY LINE): 1-HOUR  
OPENINGS NOT PERMITTED LESS THAN 3" FROM PROPERTY LINE  
NUMBER OF STORIES: 2  
ALL WORK TO CONFORM TO 2016 CRC, CBC, CFC, CPC, CMC, CEC, 2016 CALIFORNIA ENERGY CODE, AND 2016 CGBC

### SYMBOLS



### PROJECT INFORMATION

LOT SIZE	7.85 ACRES (342,000 SF)
LEVEL 1 LIVING AREA	3,254 SF (CONDITIONED)
LEVEL 2 LIVING AREA	1,034 SF (CONDITIONED)
(N) TOTAL LIVING AREA	3,254 + 1,034 = 4,388 SF (CONDITIONED)
(N) GARAGE	947 SF (UN-CONDITIONED)
(N) UTIL	32 SF (UN-CONDITIONED)
(N) TRASH	90 SF (UN-CONDITIONED)
(N) COVERED FRONT ENTRY	94 SF (UN-CONDITIONED)
(N) REAR COVERED OUTDOOR LIVING AREA	387 SF (UN-CONDITIONED)
(N) TOTAL FLOOR AREA	3,254+1,034+947+32+90+94+387= 5,938 SF
FLOOR AREA RATIO	5,938 SF / 342,000 SF = 1.74%
(N) LOT COVERAGE	3,254+947+32+90+94+387 = 4,804 SF / 342,000 SF = 1.40%
NEW HARDSCAPED AREAS	5,175 SF
NEW TOTAL IMPERVIOUS SURFACES	3,254+947+32+90+94+387+5,175= 9,979 SF
NEW GRAVEL DRIVEWAY	9,962 SF
NEW ALTERED LANDSCAPE AREA	7,214 SF
NEW IRRIGATED LANDSCAPE AREA	0 SF
NEW ALTERED LANDSCAPE AREA	109,700 SF
AREA OF NATURAL VEGETATION TO REMAIN	205,145 SF

### DRAWING INDEX

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A4.2	LONGITUDINAL SECTIONS

### PROJECT DIRECTORY

SERVICE	COMPANY	CONTACT	TELEPHONE
APPLICANT / OWNER	-	JAMIE VERDURA	(650) 455-0799
CIVIL ENGINEER	ROUND HOUSE INDUSTRIES	MIKE O'CONNELL	(650) 303-0495
DRAFTING/DESIGN	BRIAN BRINKMAN DRAFTING & DESIGN INC.	BRIAN BRINKMAN	(650) 922-7993
SURVEYOR	SAVIOR P. MICALLEFF LAND SURVEYING	SAVIOR MICALLEFF	(805) 709-2423
SOILS ENGINEER	MURRAY ENGINEERS INC.	-	-

### PROJECT NOTES

\* FIRE SPRINKLERS ARE REQUIRED UNDER A SEPARATE PERMIT. THE FIRE SPRINKLER SYSTEM SHALL BE DESIGNED AND INSTALLED PER NFPA 13D STANDARDS.

### CALGREEN CONSTRUCTION REQUIREMENTS

\* CONTRACTOR SHALL PROVIDE, AT THE TIME OF FINAL INSPECTION, AN OPERATION AND MAINTENANCE MANUAL TO THE OWNER OR OCCUPANT, ADDRESSING ITEMS 1 THROUGH 10 IN CALGREEN SECTION 4.410.1.  
\* PER CALGREEN SECTION 4.408.2, CONTRACTOR SHALL PROVIDE AND SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN, DIVERTING A MINIMUM OF 65% OF WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE, TO THE BUILDING DEPARTMENT. THE FOLLOWING INFORMATION SHALL BE PROVIDED IN THE PLAN:  
· IDENTIFY MATERIALS TO BE RECYCLED, REUSED, OR SALVAGED  
· SPECIFY IF MATERIALS WILL BE SORTED ON SITE OR MIXED FOR TRANSPORTATION  
· IDENTIFY THE DIVERSION FACILITY(IES) TO BE USED  
· IDENTIFY CONSTRUCTION METHODS TO BE USED TO LIMIT WASTE GENERATION  
· SPECIFY THAT THE AMOUNT OF MATERIALS DIVERTED ARE TO BE CALCULATED BY WEIGHT OR VOLUME  
\* AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED.  
\* PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, AND CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS.  
\* COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION.  
\* ADHESIVES, SEALANTS, AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS.  
\* PAINTS, STAINS, AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS.  
\* AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS.  
VERIFICATION OF COMPLIANCE SHALL BE PROVIDED.  
\* CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS.  
\* MINIMUM OF 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTION 4.504.4.  
\* PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD, AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.  
\* INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS.  
\* CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE.  
\* EACH BATHROOM SHALL BE MECHANICALLY VENTILATED WITH AN ENERGY STAR EXHAUST FAN, AND FAN MUST BE CONTROLLED BY A HUMIDITY CONTROL.

DESCRIPTION	PRELIMINARY DESIGN	REVIEW SET	PLANNING SUBMITTAL SET	PLANNING RESUBMITTAL	
REV	DATE	6/14/2017	9/17/2018	10/09/2018	04/29/2019
0					
1					
2					
3					
4					

PROJECT NAME:  
**NEW SINGLE FAMILY HOME:  
VERDURA RESIDENCE**

PROJECT SCOPE:  
CONSTRUCTION OF (N) SINGLE  
FAMILY HOME W/ ATTACHED  
GARAGE

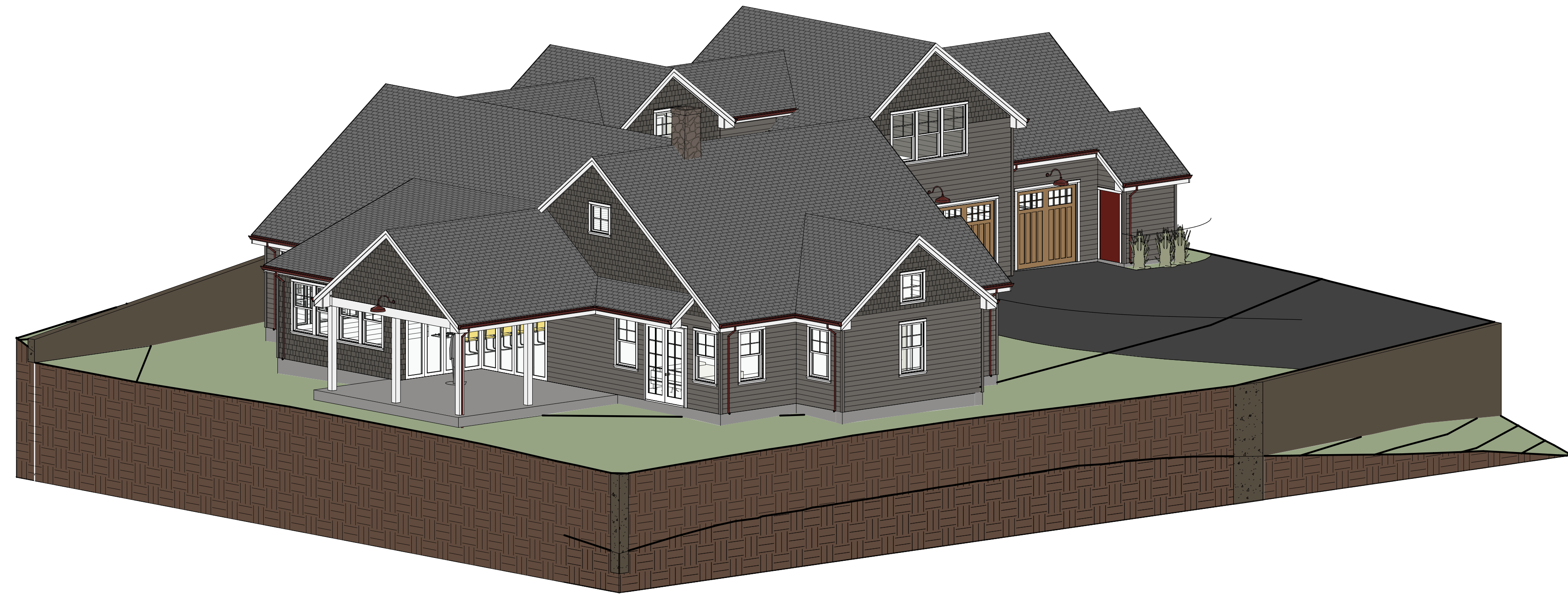
PROJECT ADDRESS:  
TBD LA HONDA ROAD  
SAN GREGORIO, CA 94074

SHEET TITLE

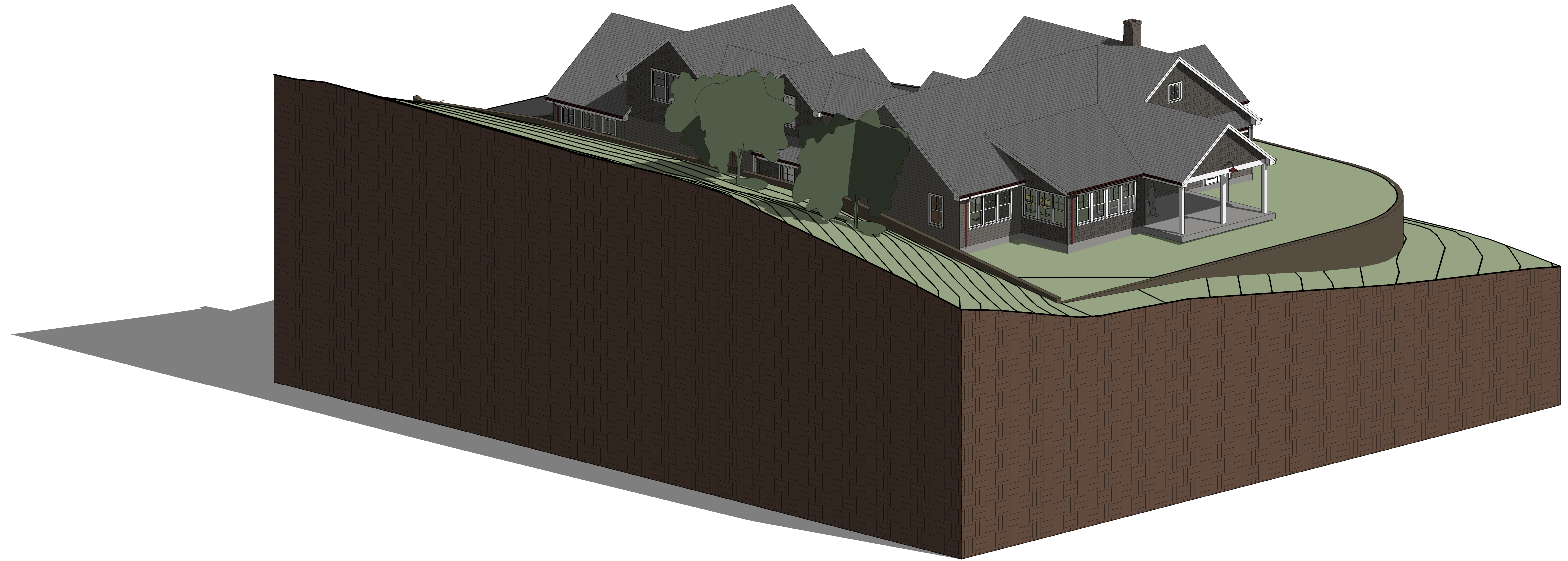
**TITLE  
SHEET/  
PROJECT  
INFO**

SHEET

**A0.0**



1 3D VIEW 1



2 3D VIEW 2

**BRIAN BRINKMAN  
DRAFTING & DESIGN**  
  
 1690 Francisco Blvd.  
 Pacifica, CA 94044  
 (650) 922-7993



REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

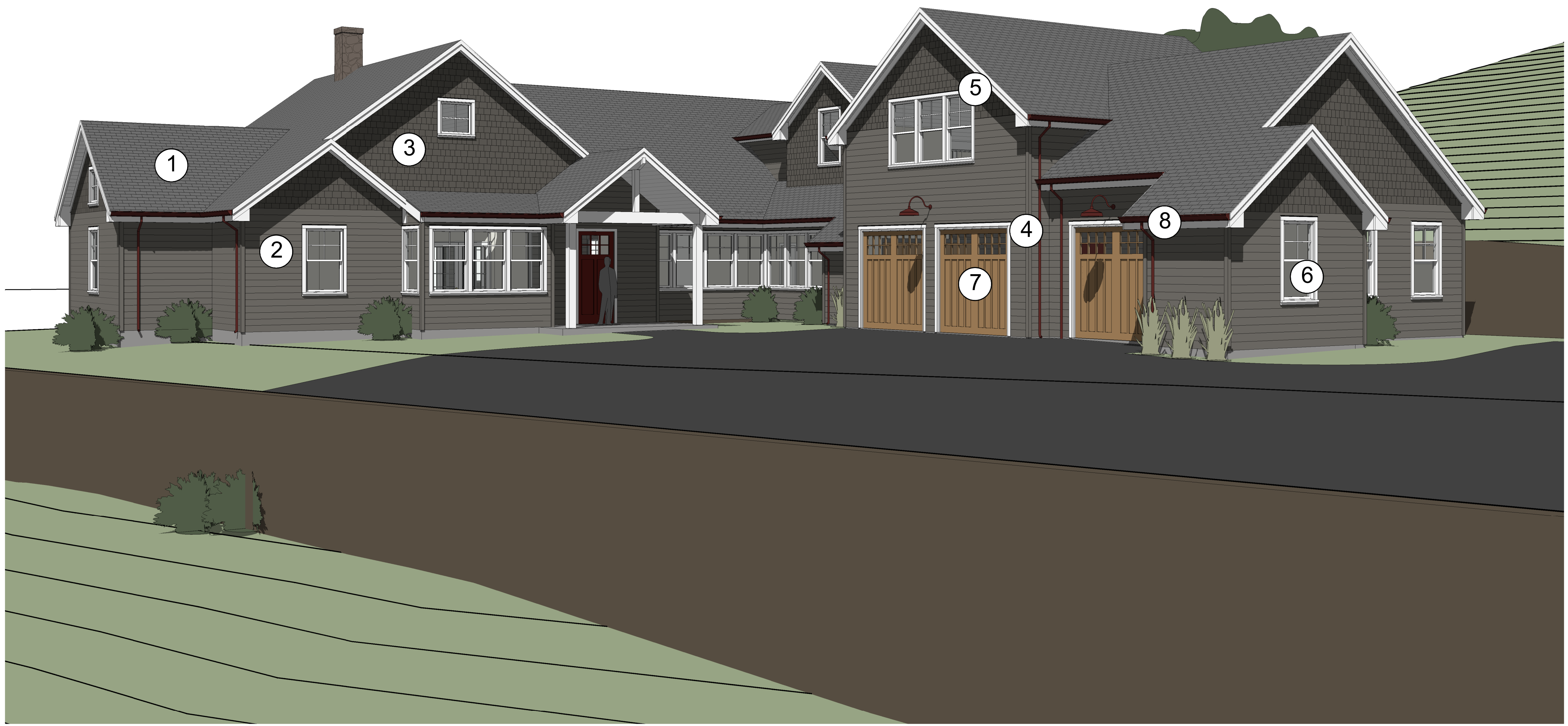
PROJECT NAME:  
**NEW SINGLE FAMILY HOME:  
 VERDURA RESIDENCE**

PROJECT ADDRESS:  
 TBD LA HONDA ROAD  
 SAN GREGORIO, CA 94074

PROJECT SCOPE:  
 CONSTRUCTION OF (N) SINGLE  
 FAMILY HOME W/ ATTACHED  
 GARAGE

SHEET TITLE  
**3D VIEWS**

SHEET  
**A0.1**



1 MATERIALS PERSPECTIVE

- 1 ROOFING: GAF TIMBERLINE HD COMPOSITION ASPHALT ROOFING SHINGLES - 'SLATE'
- 2 HOUSE SIDING MATERIAL: 6" COURSE HARDIEPLANK LAP SIDING PAINTED 'SECRET' BY BENJAMIN MOORE
- 3 HOUSE SIDING IN GABLES: HARDIESHINGLE STRAIGHT EDGE PANEL SIDING PAINTED 'KENDALL CHARCOAL' BY BENJAMIN MOORE
- 4 CORNER TRIM: WOOD PAINTED 'SECRET' BY BENJAMIN MOORE
- 5 WINDOW TRIM AND FASCIA: WOOD PAINTED 'WHITE WISP' BY BENJAMIN MOORE
- 6 WHITE MILGARD VINYL WINDOWS
- 7 GARAGE DOOR: FINISHED WOOD
- 8 GUTTERS & DOWNSPOUTS: PRE-PATINATED COPPER

REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:  
**NEW SINGLE FAMILY HOME:  
 VERDURA RESIDENCE**

PROJECT ADDRESS:  
 TBD LA HONDA ROAD  
 SAN GREGORIO, CA 94074

PROJECT SCOPE:  
 CONSTRUCTION OF (N) SINGLE  
 FAMILY HOME W/ ATTACHED  
 GARAGE

SHEET TITLE  
**MATERIALS  
 PERSPECTIVE**

SHEET  
**A0.2**



PROPOSED RENDERING FROM LA HONDA ROAD AT DRIVEWAY



PROPOSED RENDERING FROM LA HONDA ROAD FURTHER WEST

REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:  
**NEW SINGLE FAMILY HOME:  
 VERDURA RESIDENCE**

PROJECT ADDRESS:  
 TBD LA HONDA ROAD  
 SAN GREGORIO, CA 94074

PROJECT SCOPE:  
 CONSTRUCTION OF (N) SINGLE  
 FAMILY HOME W/ ATTACHED  
 GARAGE

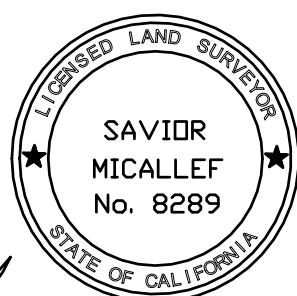
SHEET TITLE  
**PROPOSED  
 RENDERINGS**

SHEET  
**A0.3**

BENCHMARK STATEMENT:  
THE ELEVATIONS SHOWN ARE ON AN ASSUMED DATUM.

NOTE: CREEK LOCATION  
SURVEYOR COULD NOT GET INTO CREEK BECAUSE SIDE SLOPE IS TOO STEEP SO TO THE BEST OF SURVEYOR ABILITY SURVEYOR TRAVERSED TO SAFE LOCATION NEAR CREEK AND APPROXIMATE CREEK ALIGNMENT VIA INFERRED OBSERVATION.

SURVEYOR'S STATEMENT:  
THIS TOPOGRAPHIC SURVEY WAS MADE BY ME OR UNDER MY DIRECTION ON THE GROUND AND REPRESENTS MEASUREMENTS MADE MARCH 2017. THE BOUNDARY SHOWN IS A RECORD BOUNDARY ONLY. A TITLE REPORT WAS PROVIDED TO THE SURVEYOR/BY THE CLIENT. PROPERTY CORNERS WERE FOUND ON THE SUBJECT PROPERTY. EASEMENTS SHOWN ARE FROM RECORD MAP ONLY.

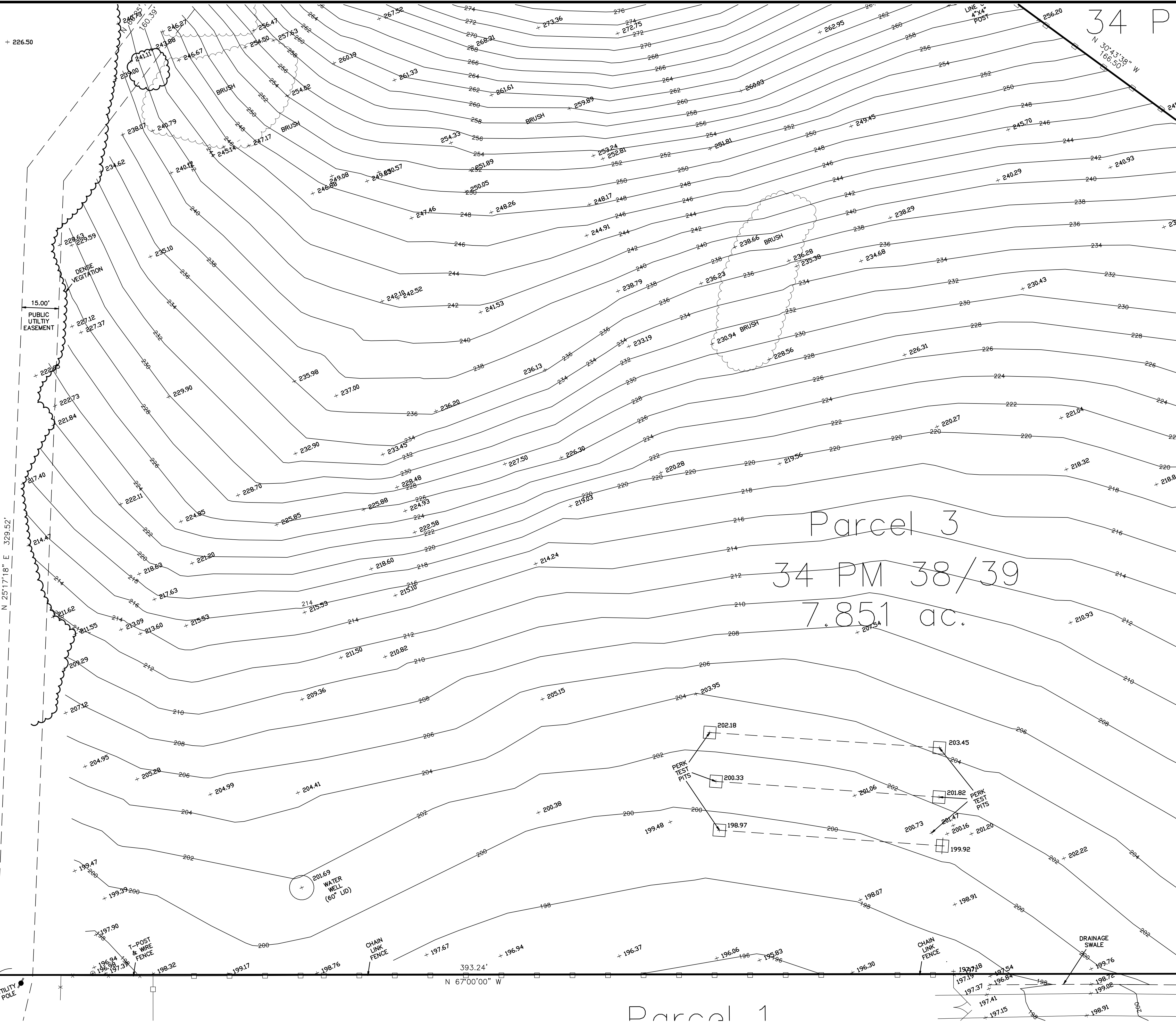


SAVOR P. MICALLEF  
LAND SURVEYOR, LS 8289  
(805) 709-2423

03-21-19  
DATE

CREEK FLOW LINE  
MEASURED 12-2017  
BY SEE NOTE: CREEK LOCATION  
ON COVER SHEET.

CREEK FLOW LINE  
MEASURED 12-2017  
BY SEE NOTE: CREEK LOCATION  
ON COVER SHEET.

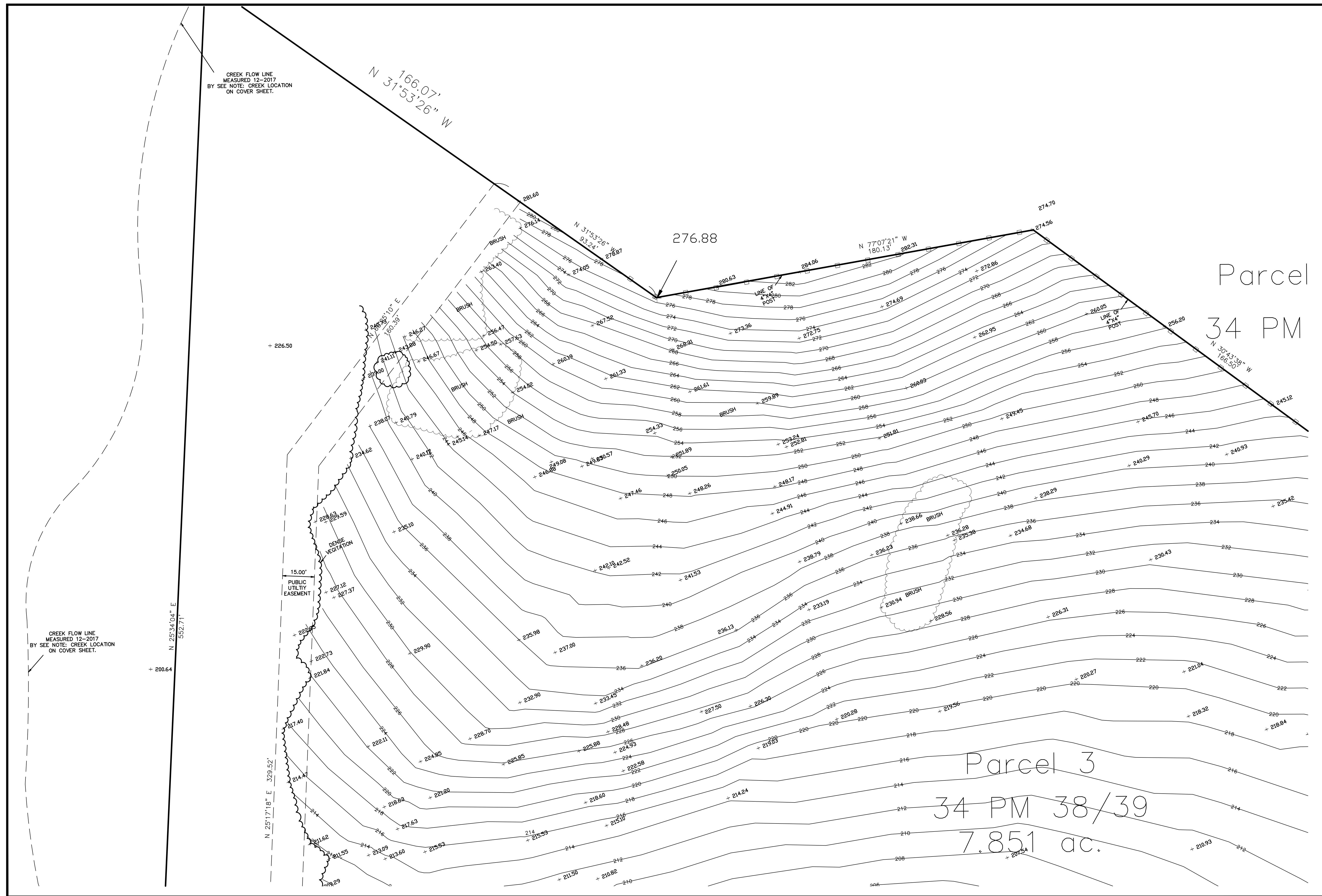


SAVOR P. MICALLEF LAND SURVEYING  
421 WILDWOOD DRIVE  
SOUTH SAN FRANCISCO, CA 94080  
650/808-0238 805/709-2423

TOPOGRAPHIC SURVEY OF PARCEL 3,  
BOOK 34 OF PARCEL MAPS AT PAGES 38&39  
SAN MATEO COUNTY RECORDS

UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

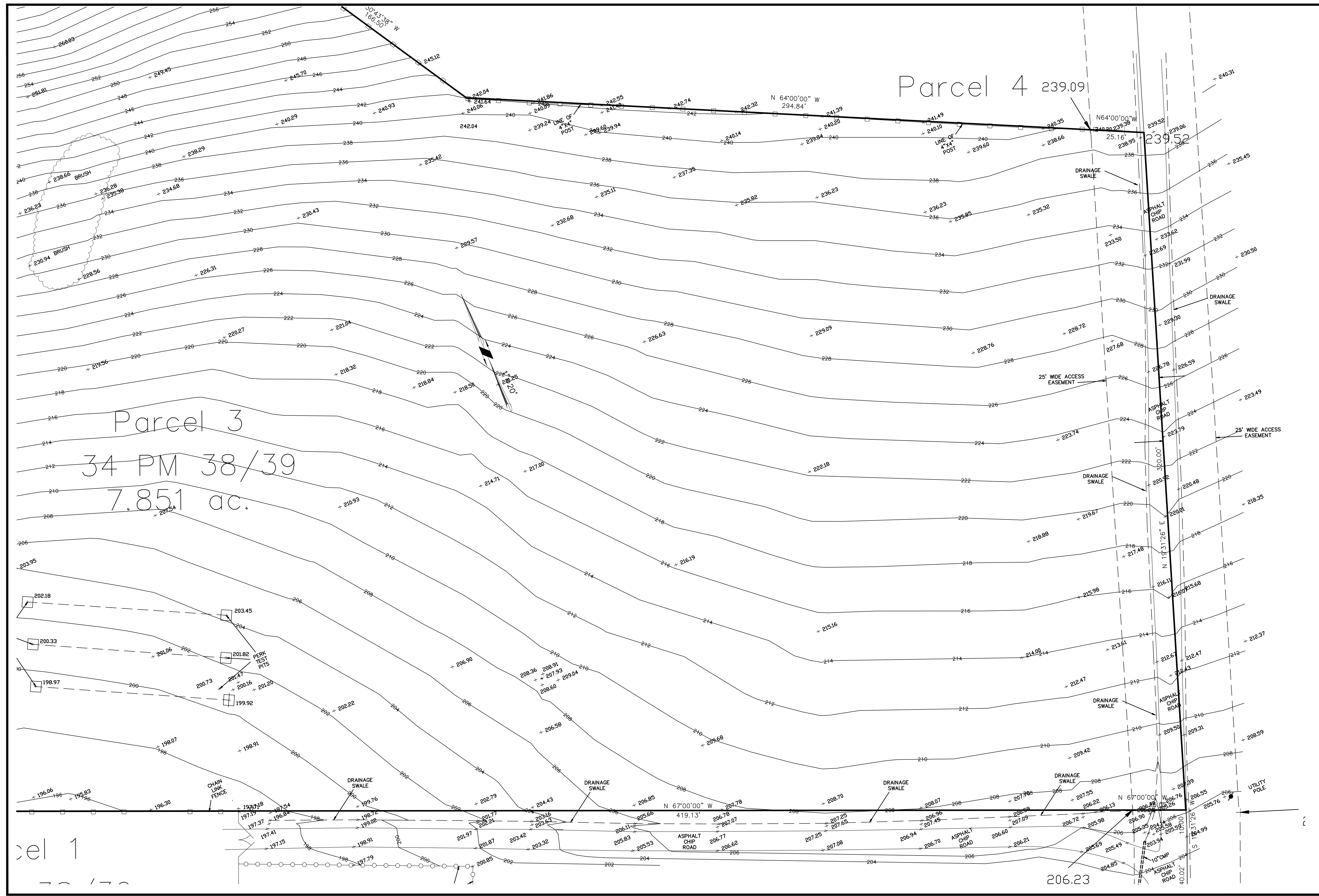
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Scale	1"=20'			12-2017 survey location of creek
Design				
Drawn	SPM			
Approved	SPM			
Job No.				
Drawing Number:				



SAVIORE P. MICALLEF LAND SURVEYING  
 421 WILDWOOD DRIVE  
 SOUTH SAN FRANCISCO, CA 94080  
 805/709-2423

TOPOGRAPHIC SURVEY OF PARCEL 3,  
 BOOK 34 OF PARCEL MAPS AT PAGES 38&39  
 SAN MATEO COUNTY RECORDS  
 UNINCORPORATED SAN MATEO COUNTY  
 CALIFORNIA

Date	04-18-17	No.		Revisions
Scale	1"=20'			12-2017 survey location of creek
Design	SPM			
Drawn	SPM			
Approved	SPM			
Job No.				
Drawing Number:				



Parcel 3  
 34 PM 38/39  
 7.851 ac.

Parcel 4 239.09

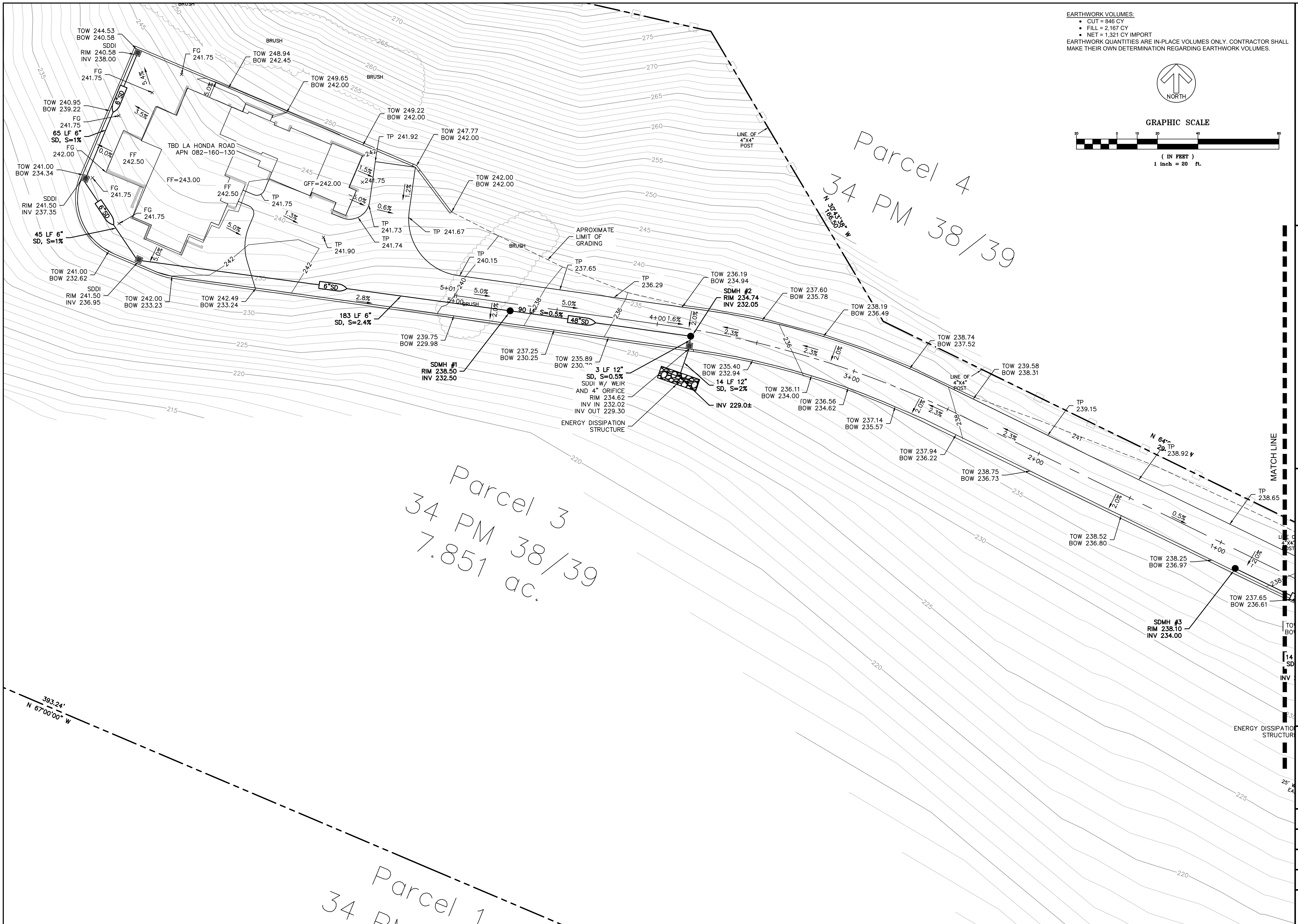
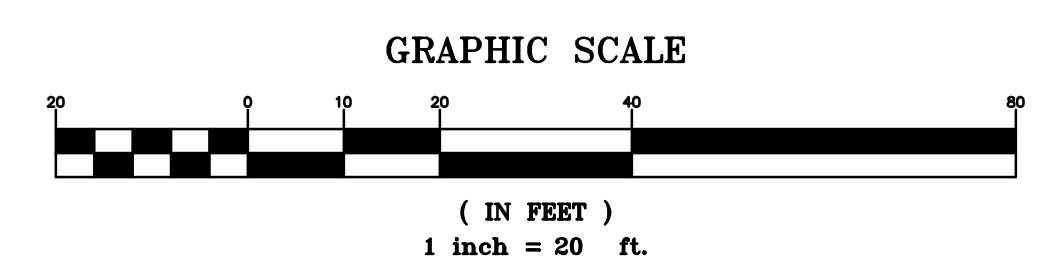
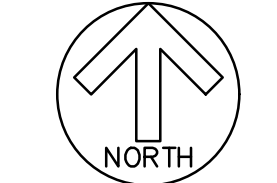
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 421 WILDWOOD DRIVE  
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 805/709-2423

TOPOGRAPHIC SURVEY OF PARCEL 3,  
 BOOK 34 OF PARCEL MAPS AT PAGES 38&39  
 SAN MATEO COUNTY RECORDS  
 UNINCORPORATED SAN MATEO COUNTY CALIFORNIA

Date	04-18-17	No.	
Scale	1"=20'	Revisions	12-2017 survey location of creek
Design	SPM		
Drawn	SPM		
Approved	SPM		
Job No.			
Drawing Number:			
3 OF 3			



EARTHWORK VOLUMES:  
 • CUT = 846 CY  
 • FILL = 2,167 CY  
 • NET = 1,321 CY IMPORT  
 EARTHWORK QUANTITIES ARE IN-PLACE VOLUMES ONLY. CONTRACTOR SHALL MAKE THEIR OWN DETERMINATION REGARDING EARTHWORK VOLUMES.



Parcel 4  
 34 PM 38/39

Parcel 3  
 34 PM 38/39  
 7.851 ac.

Parcel 1  
 34 PM

**ROUND HOUSE INDUSTRIES, INC.**  
 900 ROSITA ROAD  
 PACIFICA, CA 94044  
 650.303.0495

**PRELIMINARY GRADING & DRAINAGE PLAN**

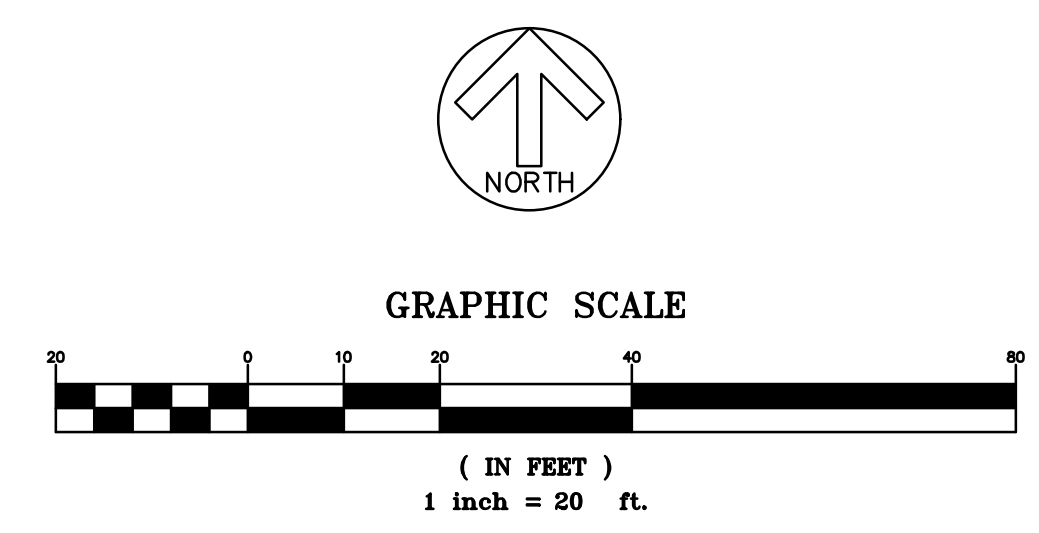
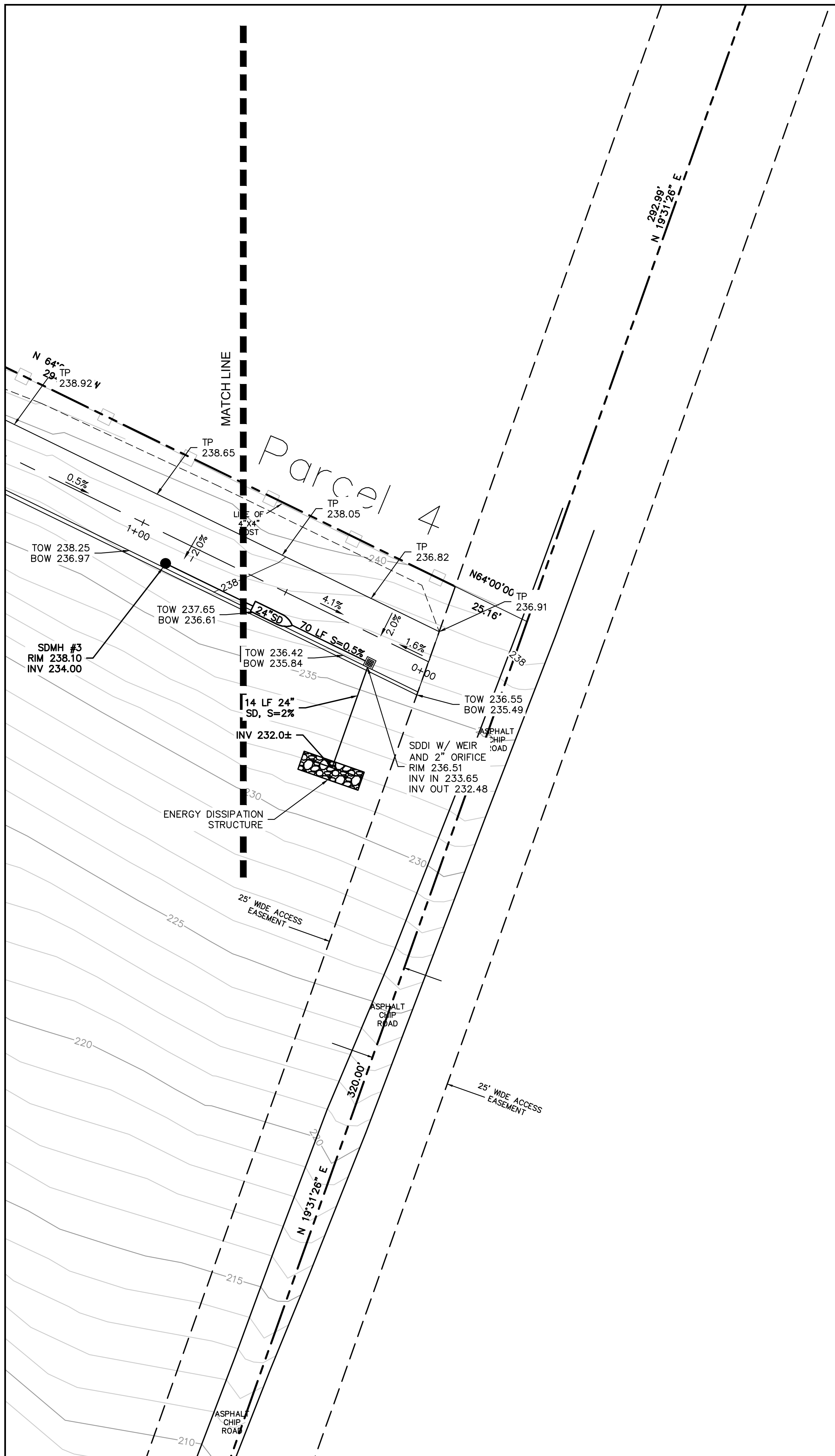
No.	Revisions	Approved

**VERDURA RESIDENCE**  
 TBD LA HONDA ROAD  
 LA HONDA, CA 94020



DATE: 9.15.18  
 SCALE: 1"=20'  
 DRAWN: MO  
 JOB NO: 2018-018

SHEET  
**C1.1**



**ROUND HOUSE INDUSTRIES, INC.**  
**900 ROSITA ROAD**  
**PACIFICA, CA 94044**  
**650.303.0495**

**PRELIMINARY GRADING & DRAINAGE PLAN**

No.	Revisions

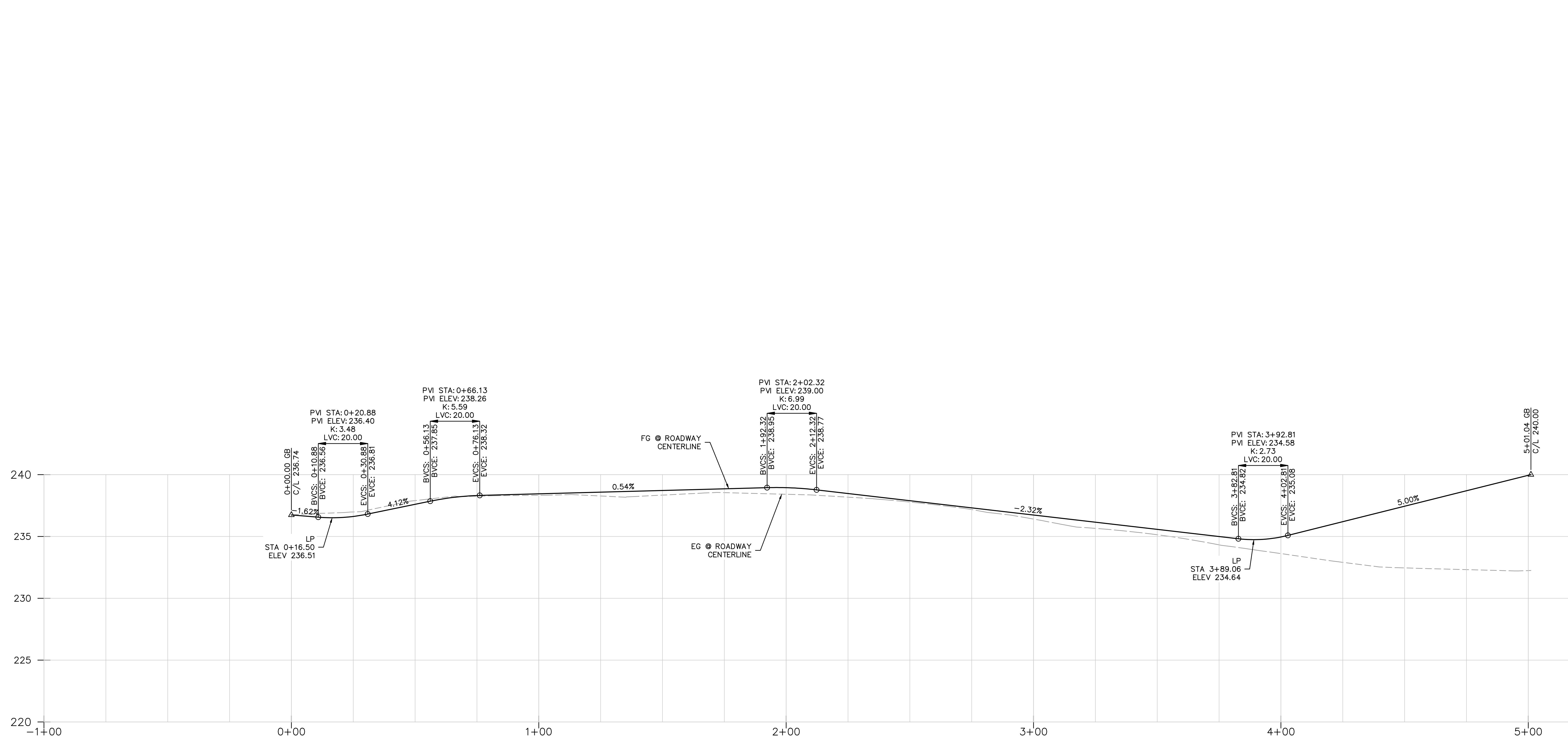
Approved

**VERDURA RESIDENCE**  
**TBD LA HONDA ROAD**  
**LA HONDA, CA 94020**



DATE: 9.15.18  
 SCALE: 1"=20'  
 DRAWN: MO  
 JOB NO: 2018-018

SHEET  
**C1.1**



**PROFILE**  
 SCALE: 1" = 20' HORIZ.  
 1" = 4' VERT.

**ROUND HOUSE INDUSTRIES, INC.**  
 900 ROSITA ROAD  
 PACIFICA, CA 94044  
 650.303.0495

**PRELIMINARY DRIVEWAY PROFILE**

No.	Revisions
	Approved

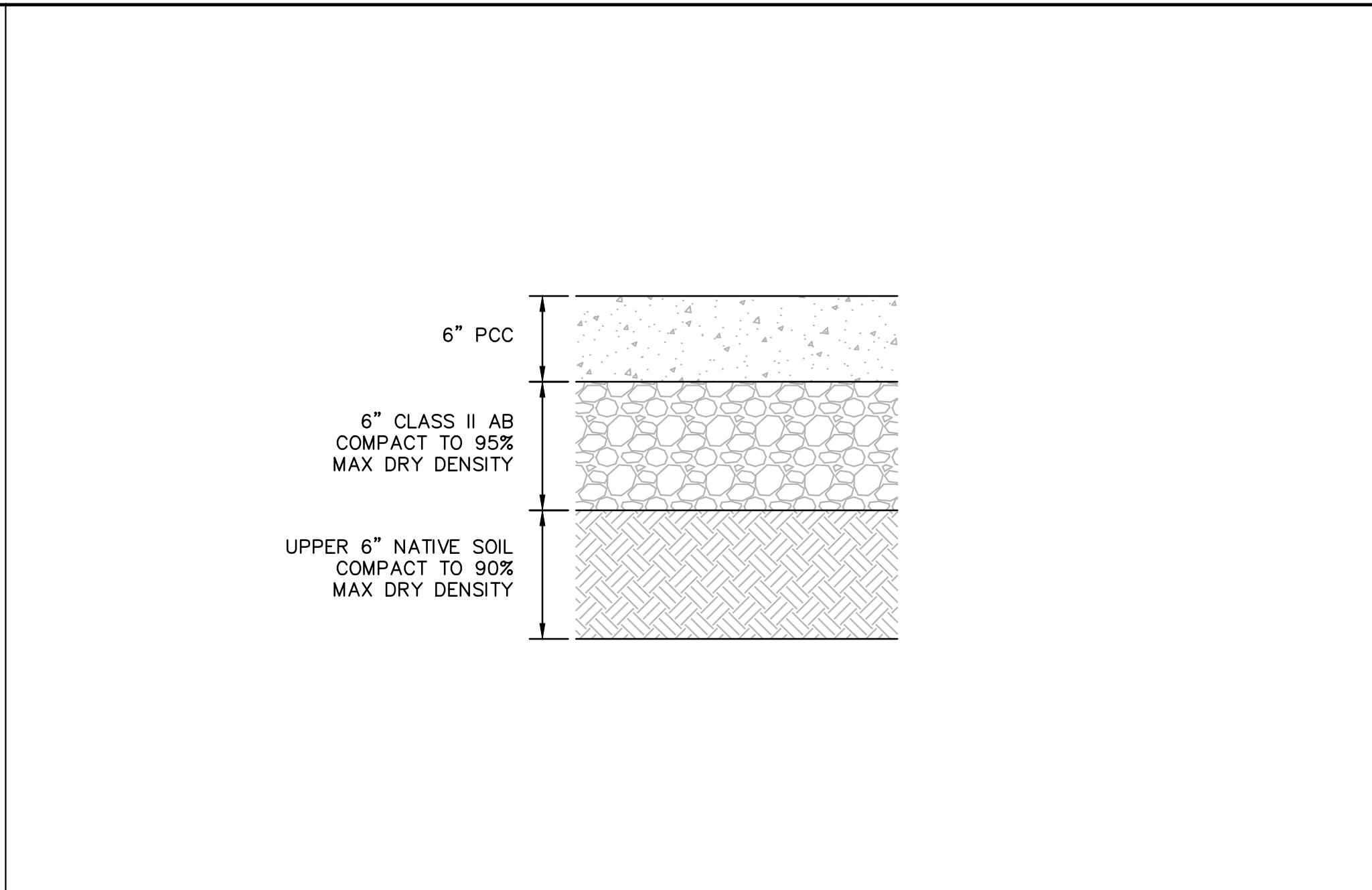
**VERDURA RESIDENCE**  
 TBD LA HONDA ROAD  
 LA HONDA, CA 94020



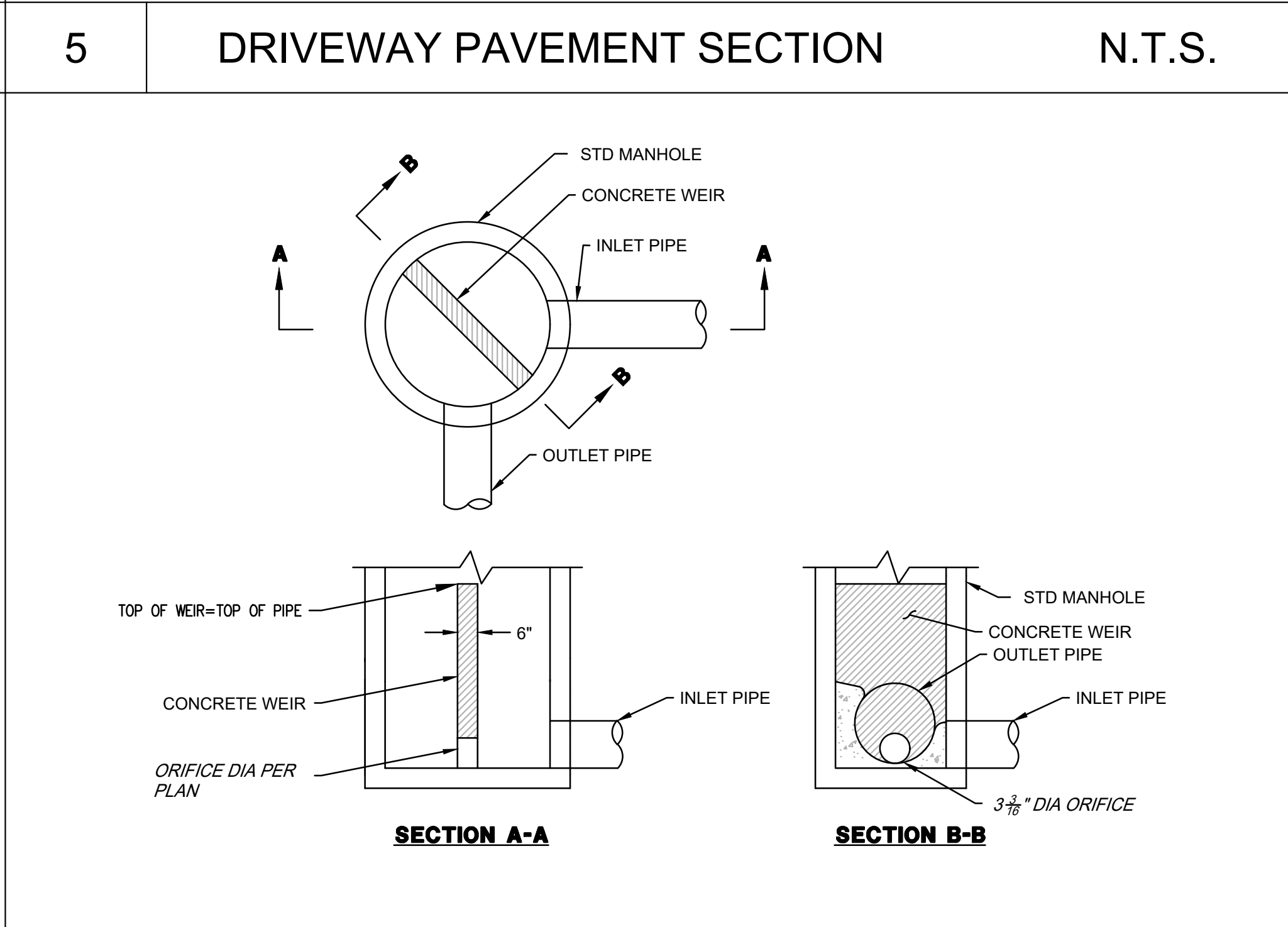
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 SCALE: 1"=20'  
 DRAWN: MO  
 JOB NO: 2018-018

SHEET  
**C1.3**

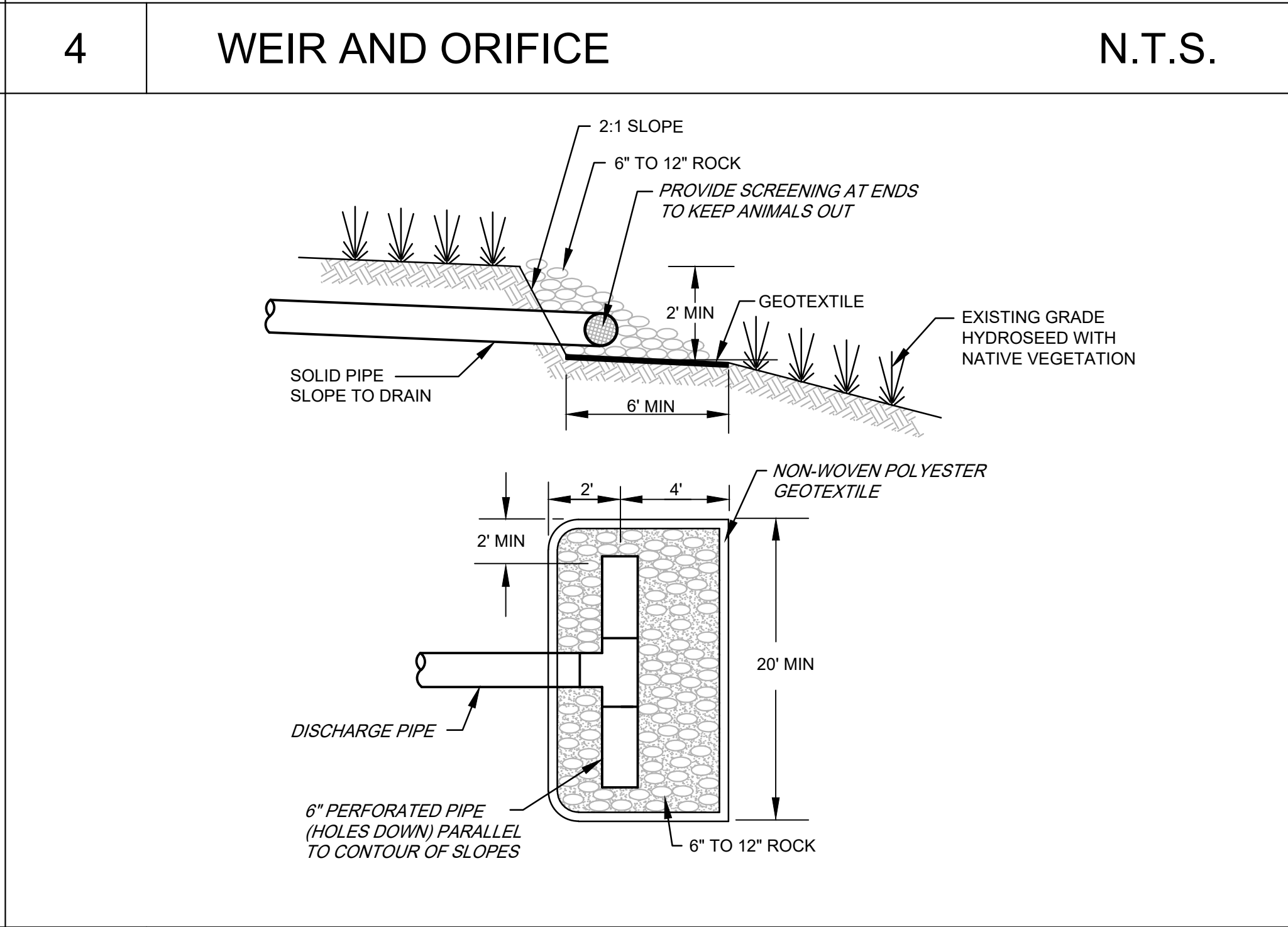
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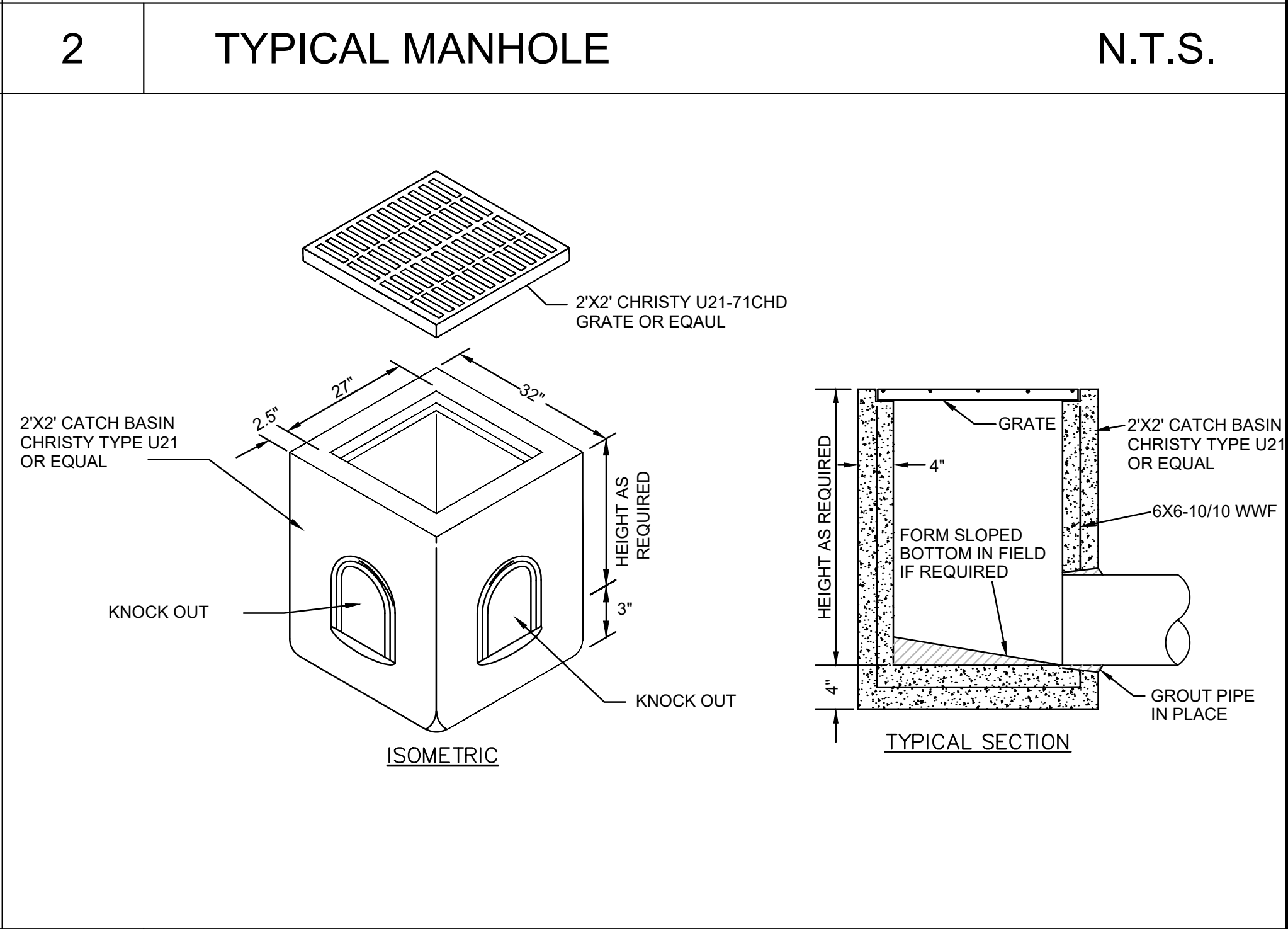
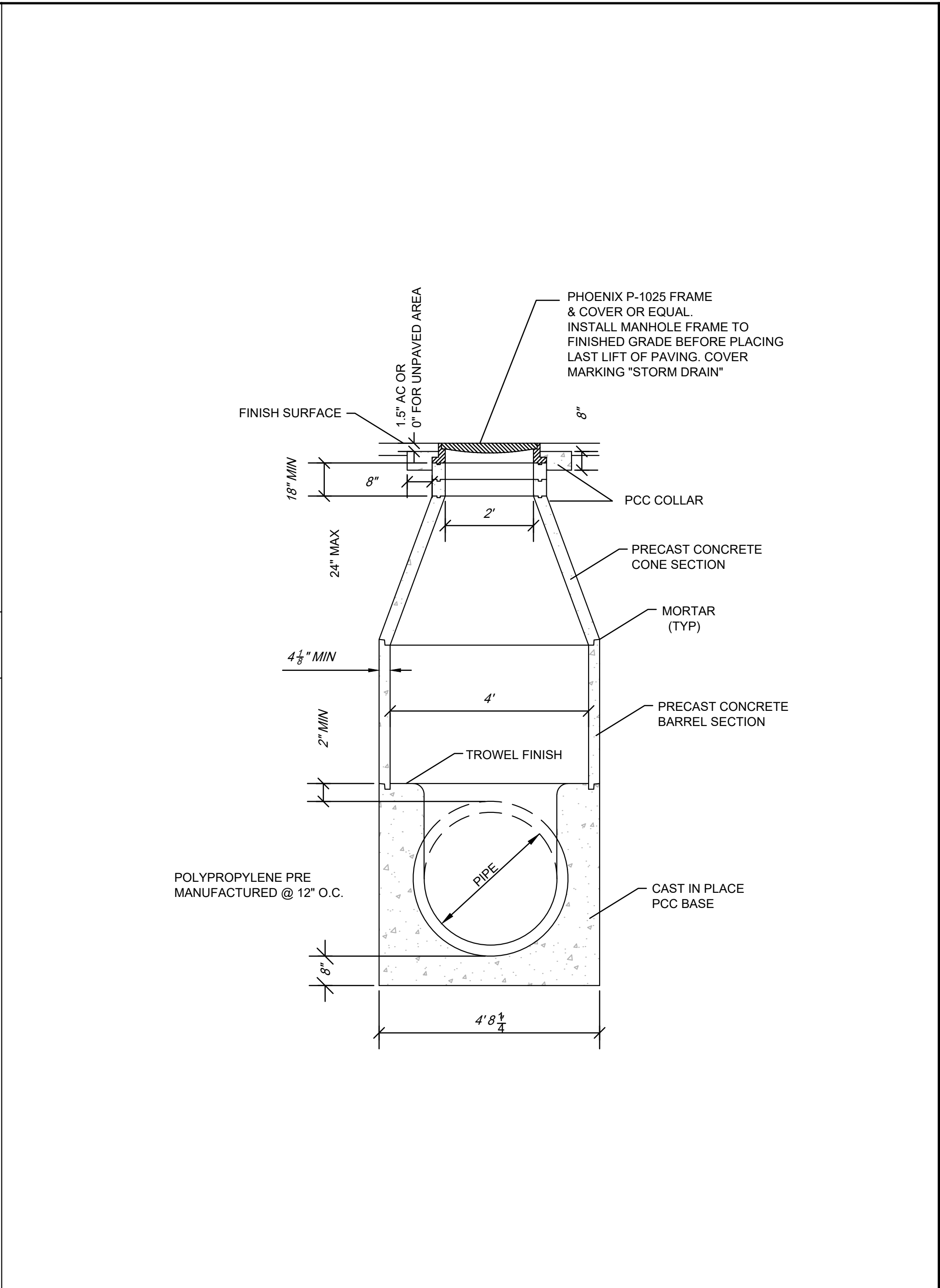
8	NOT USED	N.T.S.	5	DRIVEWAY PAVEMENT SECTION	N.T.S.
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7	NOT USED	N.T.S.	4	WEIR AND ORIFICE	N.T.S.
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6	NOT USED	N.T.S.	3	ENERGY DISSIPATION STRUCTURE	N.T.S.
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1	CATCH BASIN	N.T.S.
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**ROUND HOUSE INDUSTRIES, INC.**  
900 ROSITA ROAD  
PACIFICA, CA 94044  
650.303.0495

**PRELIMINARY DETAILS**

No.	Revisions	Approved

**VERDURA RESIDENCE**  
TBD LA HONDA ROAD  
LA HONDA, CA 94020

DATE: 9.15.18  
SCALE: AS SHOWN  
DRAWN: MO  
JOB NO: 2018-018  
SHEET

**C2.1**

**PROJECT DESCRIPTION:**

THE PROPERTY OWNER(S) WOULD LIKE TO BUILD A NEW 3 BEDROOM HOME AND FUTURE 4 BEDROOM ADU UNIT. IN ORDER TO DO SO, A NEW SEPTIC SYSTEMS THAT MEETS CURRENT REGULATIONS TO SERVE A TOTAL OF 7 BEDROOMS IS REQUIRED.

A NEW SEPTIC TANK WITH A CAPACITY OF 2,500 GALLONS IS REQUIRED TO SERVE THE NEW 3 BEDROOM HOME AND FUTURE 4 BEDROOM ADU UNIT.

THE LEACH FIELDS FOR THE HOUSE ARE SIZED BY THE NUMBER OF PROPOSED BEDROOMS (7 TOTAL) AND THE PERCOLATION RATE ("A" COPY OF TEST ATTACHED). THE COUNTY REQUIRES FOUR SEPARATE LEACH FIELDS. EACH LEACH FIELD SHALL HAVE 70' MINIMUM OF TRENCH TO SERVE THE FIRST THREE BEDROOMS AND 20' MORE LEACH TRENCH FOR EACH ADDITIONAL BEDROOM (LEACH LENGTH = 70' + 20' + 20' + 20' + 20' = 150'). TWO OF THESE LEACH FIELDS, (DESIGNATED AS PRIMARY ON THIS PLAN) MUST BE INSTALLED AND THE AREA FOR THE OTHER TWO LEACH FIELDS (DESIGNATED AS RESERVE ON THIS PLAN) MUST BE RESERVED FOR FUTURE USE IF EVER NEEDED.

**APPLICABLE SETBACKS FOR SEPTIC AND LEACH SYSTEMS:**

**SECTION 9321 LOCATIONS**

1. NO SEPTIC, PUMPING, OR HOLDING TANK SHALL BE LOCATED CLOSER THAN:
  - 1.1. FIVE (5) FEET OF ANY BUILDING.
  - 1.2. FIFTY (50) FEET OF ANY PROPERTY LINE FOR PARCELS WITHOUT AVAILABLE PUBLIC WATER SUPPLY. TEN (10) FEET OF ANY PROPERTY LINE FOR PARCELS WITH APPROVED PUBLIC WATER SUPPLY.
  - 1.3. ONE HUNDRED (100) FEET OF THE TOP OF BANK OF A STREAM AS DEFINED BY THE MOST RECENT U.S. GEOLOGICAL SURVEY TOPOGRAPHICAL MAP (7½ ACRES, OR EQUIVALENT SCALE) OF THE AREA.
  - 1.4. TWENTY-FIVE (25) FEET OF A SWIMMING POOL.
2. NO DRAIN FIELD OR OTHER LEACHING SYSTEM SHALL BE LOCATED CLOSER THAN:
  - 2.1. TEN (10) FEET OF ANY BUILDING.
  - 2.2. FIFTY (50) FEET OF ANY PROPERTY LINE FOR PARCELS WITHOUT AVAILABLE PUBLIC WATER SUPPLY. TEN (10) FEET OF ANY PROPERTY LINE FOR PARCELS WITH APPROVED PUBLIC WATER SUPPLY.
  - 2.3. ONE HUNDRED (100) FEET OF ANY WELL.
  - 2.4. ONE HUNDRED (100) FEET OF THE TOP BANK OF A STREAM.
  - 2.5. SETBACK EQUAL TO 4 X THE HEIGHT OF A CUT OR EMBANKMENT; THE REQUIRED SETBACK DISTANCE SHALL BE AT LEAST TWENTY FIVE (25) FEET AND NO MORE THAN FIFTY (50) FEET.
  - 2.6. SETBACK FROM SLOPES OF 50% OR GREATER SHALL BE AT LEAST TWENTY FIVE (25) FEET WHERE THE HEIGHT OF THE SLOPE 50% OR GREATER IS LESS THAN TWELVE (12) FEET, AND AT LEAST FIFTY (50) FEET WHERE THE HEIGHT OF THE SLOPE 50% OR GREATER IS GREATER THAN TWELVE (12) FEET.
  - 2.7. SETBACK OF ONE HUNDRED (100) FEET FROM AN UNSTABLE LAND MASS.
  - 2.8. TWENTY-FIVE (25) FEET OF A SWIMMING POOL.
  - 2.9. TWO HUNDRED (200) FEET OF A DOMESTIC WATER SUPPLY RESERVOIR.
  - 2.10. ONE HUNDRED (100) FEET OF A RESERVOIR, OTHER THAN A DOMESTIC WATER SUPPLY RESERVOIR.
3. THE SEPTIC TANK, DRAIN FIELD, AND OTHER COMPONENTS OF THE SEPTIC SYSTEM SHALL BE LOCATED WITHIN THE BOUNDARIES OF THE PARCEL UPON WHICH THE STRUCTURE REQUIRING THE SYSTEM IS BUILT.
4. NO DRAIN FIELD OR OTHER LEACHING SYSTEM SHALL BE LOCATED IN SLOPES OF FIFTY PERCENT (50%) OR GREATER.

NOTE: WORK SHALL NOT TO BE DONE WHEN SOIL IS "WET"

**INDIVIDUAL ONSITE WASTEWATER AND TREATMENT DISPOSAL SYSTEM AND SEPTIC TANK NOTES:**

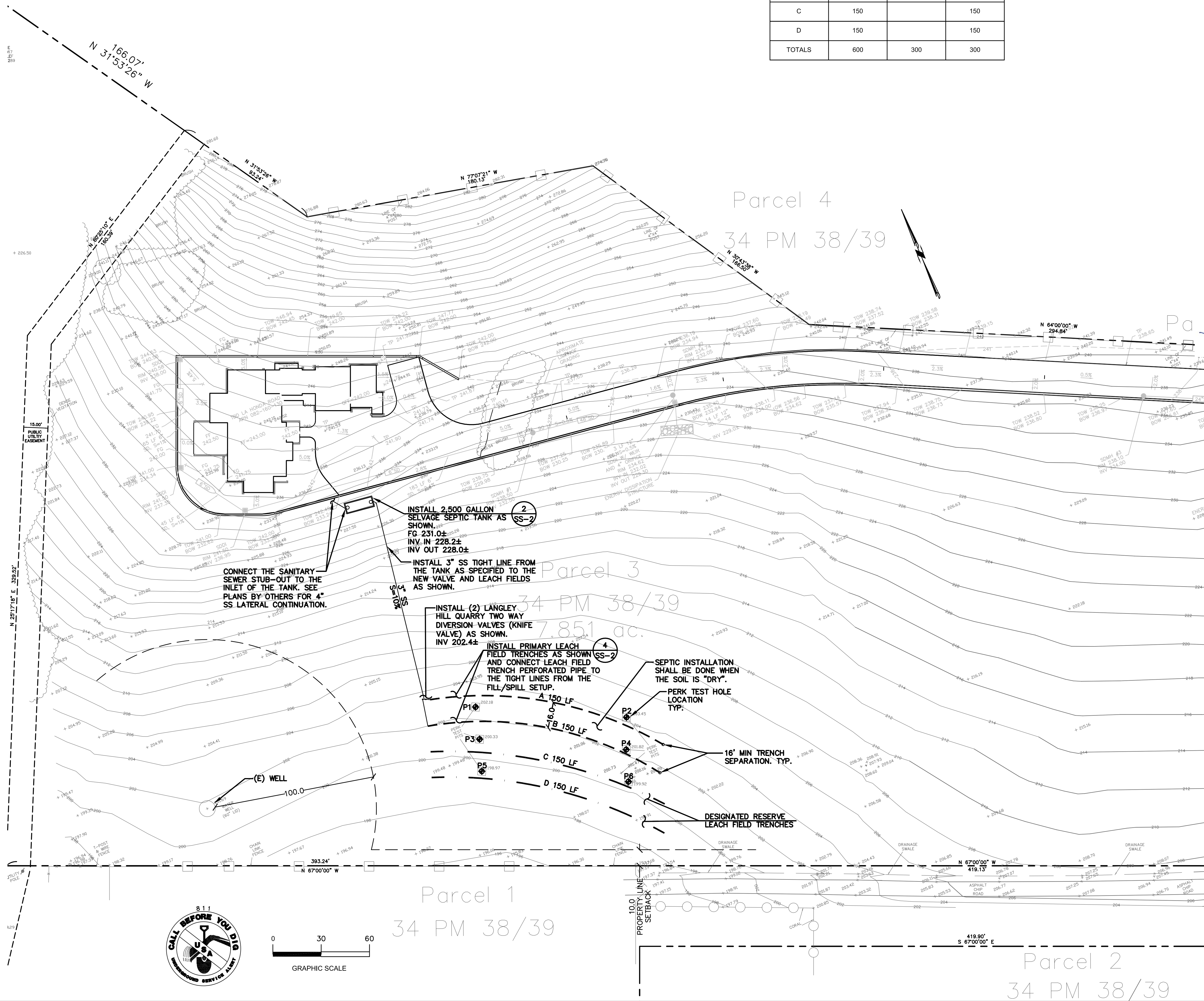
1. FOLLOWING SUBMITTAL OF A SEPTIC TANK DESTRUCTION PERMIT APPLICATION WITH APPROPRIATE FEE, AN INSPECTION OF THE INDIVIDUAL ONSITE WASTEWATER AND TREATMENT DISPOSAL SYSTEM/SEPTIC TANK WILL BE CONDUCTED BY COUNTY STAFF TO ASCERTAIN THE EXTENT OF SUCH DESTRUCTION.
2. SEPTIC TANKS CAN EITHER BE REMOVED COMPLETELY, OR CAN BE DESTROYED IN PLACE IN THE FOLLOWING MANNER:
  - 2.1. BOTH CHAMBERS OF THE SEPTIC TANK MUST BE PUMPED OUT BY A PERMITTED PUMPING COMPANY, AND THE SEWAGE DISPOSED OF IN AN APPROVED MANNER.
  - 2.2. IF THE TANK CANNOT BE COMPLETELY REMOVED, THE BOTTOM OF THE EMPTY SEPTIC TANK MUST BE BROKEN OR PERFORATED TO ALLOW FOR DRAINAGE.
  - 2.3. THE SEPTIC TANK CAN THEN BE FILLED WITH SAND, NATIVE SOIL, OR OTHER APPROVED MATERIAL, AND THE MATERIAL APPROPRIATELY COMPACTED.
  - 2.4. THE TOP OF THE SEPTIC TANK MUST THEN BE COLLAPSED.
3. DRAINFIELDS MAY BE REMOVED, ALTHOUGH SUCH REMOVAL MAY NOT BE NECESSARY (IF THERE IS TO BE NO CONSTRUCTION ON THE SITE OF THE DRAINFIELD). IF DRAINFIELD REMOVAL IS NECESSARY, SUCH REMOVAL MUST BE CONDUCTED IN THE FOLLOWING MANNER:
  - 3.1. THE PERFORATED DRAINPIPE MUST BE REMOVED AND PROPERLY DISPOSED.
  - 3.2. THE DRAINROCK MUST BE REMOVED AND PROPERLY DISPOSED.
  - 3.3. THE TRENCH MUST BE BACKFILLED WITH NATIVE SOIL, AND THE SOIL COMPACTED TO AS CLOSE TO THE ORIGINAL STATE OF THE SOIL AS POSSIBLE.
4. ALL MATERIAL AND METHODS SHALL COMPLY WITH SAN MATEO COUNTY REGULATIONS AND POLICIES. ALL WORK MUST BE INSPECTED AND APPROVED BEFORE IT IS COVERED.
5. THIS SYSTEM WAS DESIGNATED TO HANDLE A LIMITED AMOUNT OF WASTEWATER. SINCE ANY ADDITIONAL WATER COULD CAUSE THE SYSTEM TO FAIL, ALL WATER LEAKS NEED TO BE REPAIRED AS SOON AS POSSIBLE AND ALL STORMWATER DRAINAGE FEATURES SHOULD BE DESIGNED TO DIRECT SAID WATER AWAY FROM THE LEACH FIELD TRENCH AREA. IRRIGATION LEACH FIELD AREAS SHOULD NOT EXCEED THE EVAPOTRANSPIRATION CAPACITY OF THE VEGETATION IN QUESTION.
6. THE OWTs WILL NEED TO BE STAKED OUT BY THE SEPTIC CONTRACTOR AND FIELD VERIFIED WITH ENVIRONMENTAL HEALTH. ALLOW A MINIMUM OF 48 HOURS' NOTICE FOR INSPECTION REQUEST.

**LEACH TRENCH LAYOUT**

TRENCH	LENGTH (LINEAR FEET)	P1	E1
A	150	150	
B	150	150	
C	150		150
D	150		150
TOTALS	600	300	300

**LEGEND:**

- PRIMARY LEACH TRENCH
- EXPANSION LEACH TRENCH

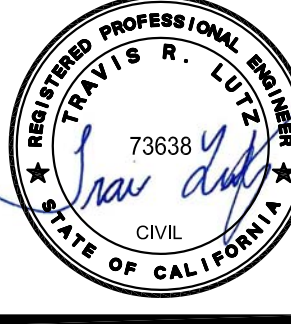


PRECISION ENGINEERING AND CONSTRUCTION, INC.  
 901 Walformire Street  
 Belmont, CA 94002  
 T: 650.236.8640  
 F: 650.637.1059  
 Travis@Precision-EC.com

DATE: \_\_\_\_\_

REVISIONS:

NO.	DATE	DESCRIPTION



**SEPTIC AND LEACH SYSTEM PLAN**  
 NEW RESIDENCE  
 OLD LA HONDA ROAD  
 SAN GREGORIO, CA 94074  
 APN 082-160-130

Date: 04/08/2019

Scale: 1" = 30'

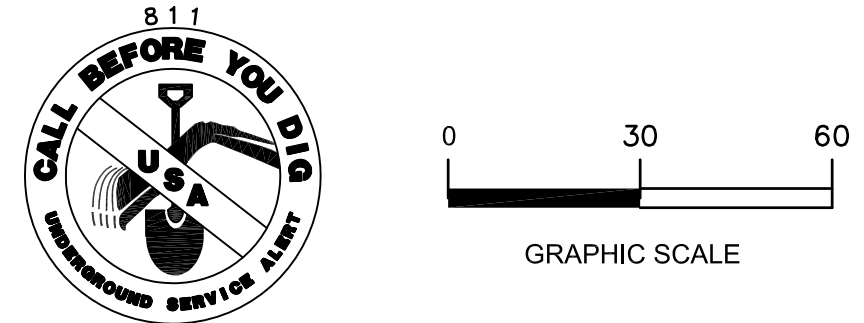
Design: TRL

Check: TRL

Drawing Number: SS-1

PEC Job No.: PEC 18-134

DATE: 04/08/2019 11:54 AM  
 USER: TRAVIS.LUTZ  
 PROJECT: 18-134  
 DRAWING: SS-1



**READ AND RECEIVED BY:**  
 Initials: \_\_\_\_\_ Date: \_\_\_\_\_ No. Pgs: 2

**SAN MATEO COUNTY ENVIRONMENTAL HEALTH SERVICES DIVISION**

**MEASUREMENTS**

1/2 HOUR INTERVALS	READINGS	HOLE #1	HOLE #2	HOLE #3	HOLE #4	HOLE #5	HOLE #6
12:00 - 12:15	FINISH	5'-11"	3'-11"	8'-11"	8'-11"	6'-11"	5'-11"
	START	2'-11"	2'-11"	2	11'-11"	5'-11"	3'-11"
	DIFF.	3'-11"	1'-11"	6'-11"	3'-11"	1'-11"	2'-11"
12:30 - 12:45	FINISH	8'-11"	8'-11"	8'-11"	8'-11"	6'-11"	4'-11"
	START	2'-11"	2'-11"	4'-11"	4'-11"	2'-11"	2'-11"
	DIFF.	6'-11"	6'-11"	4'-11"	4'-11"	4'-11"	2'-11"
1:00 - 1:15	FINISH	5'-11"	5	8'-11"	8'-11"	6'-11"	4'-11"
	START	2'-11"	1'-11"	2	4	2'-11"	2'-11"
	DIFF.	3'-11"	3'-11"	6'-11"	4'-11"	4'-11"	2'-11"
1:30 - 1:45	FINISH	5'-11"	3'-11"	8'-11"	8'-11"	5'-11"	4'-11"
	START	2'-11"	1'-11"	4'-11"	4'-11"	1'-11"	2'-11"
	DIFF.	3'-11"	2'-11"	4'-11"	4'-11"	4'-11"	2'-11"
2:00 - 2:15	FINISH	8'-11"	3'-11"	8'-11"	7'-11"	5'-11"	4'-11"
	START	2'-11"	1'-11"	2'-11"	1'-11"	1'-11"	2'-11"
	DIFF.	6'-11"	2'-11"	6'-11"	6'-11"	4'-11"	2'-11"
2:30 - 2:45	FINISH	4'-11"	3'-11"	8'-11"	8'-11"	5'-11"	4'-11"
	START	2'-11"	1'-11"	3'-11"	2	5'-11"	2'-11"
	DIFF.	2'-11"	2'-11"	5'-11"	6'-11"	3'-11"	2'-11"
3:00 - 3:15	FINISH	4'-11"	3'-11"	8'-11"	8'-11"	5'-11"	4'-11"
	START	2'-11"	1'-11"	3'-11"	2	5'-11"	2'-11"
	DIFF.	2'-11"	2'-11"	5'-11"	6'-11"	3'-11"	2'-11"
3:30 - 3:45	FINISH	4'-11"	3'-11"	8'-11"	8'-11"	5'-11"	4'-11"
	START	2'-11"	1'-11"	3'-11"	2	5'-11"	2'-11"
	DIFF.	2'-11"	2'-11"	5'-11"	6'-11"	3'-11"	2'-11"
4:00 - 4:15	FINISH	4'-11"	3'-11"	8'-11"	8'-11"	5'-11"	4'-11"
	START	2'-11"	1'-11"	3'-11"	2	5'-11"	2'-11"
	DIFF.	2'-11"	2'-11"	5'-11"	6'-11"	3'-11"	2'-11"

**SITE INFORMATION**

Site Address: 4645 LA HONDA RD APN: 082-160-130

Size Of Parcel: 7.5 acres +/- Subdivision Number: \_\_\_\_\_

Soil Log: 11845 12/10/11 brookwood Rock Water Source: WELL

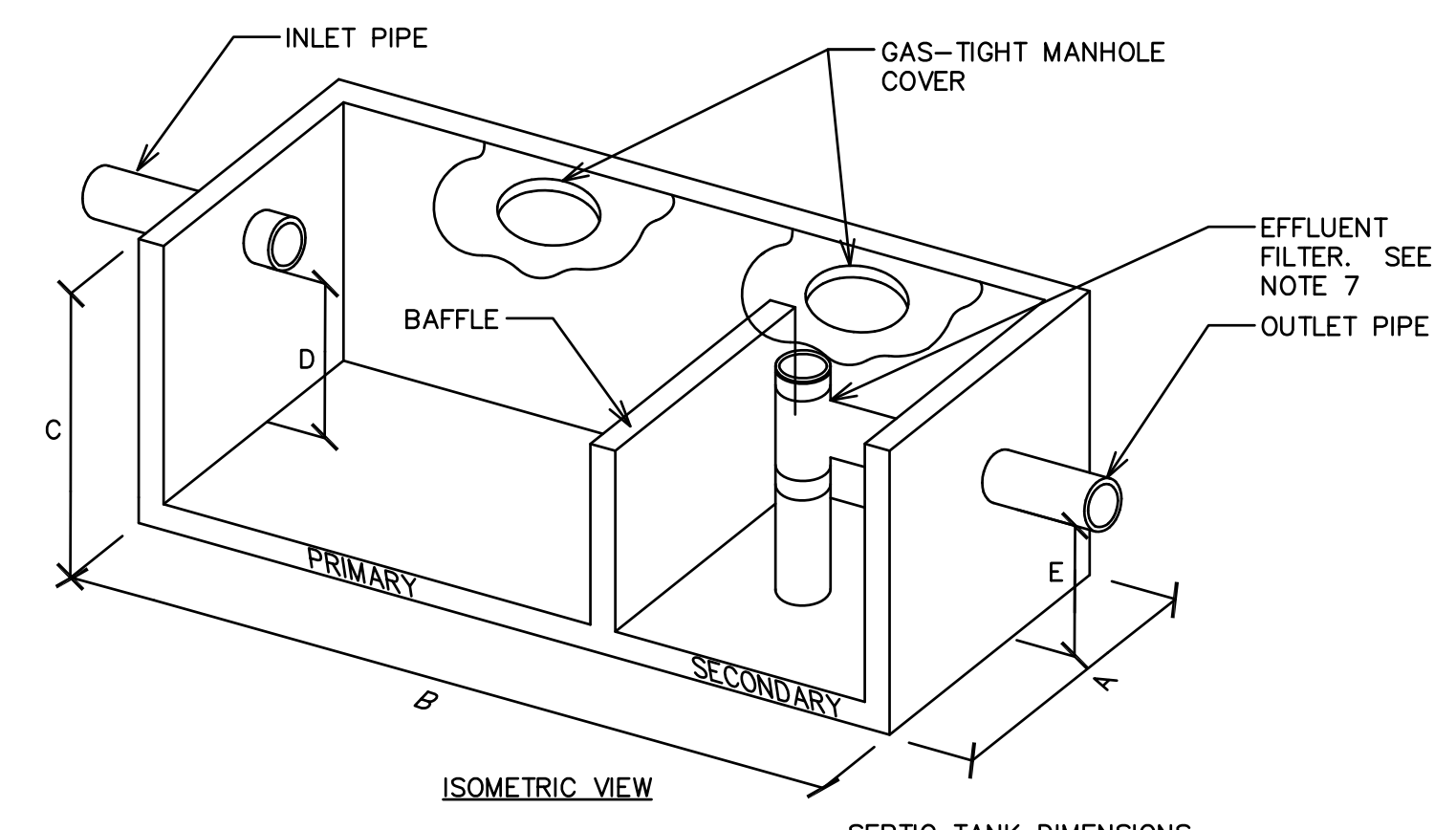
Depth To Ground Water: N/A DRU

Wet Weather Testing Required?  YES  NO

Tested By: [Signature] Tester #: 017

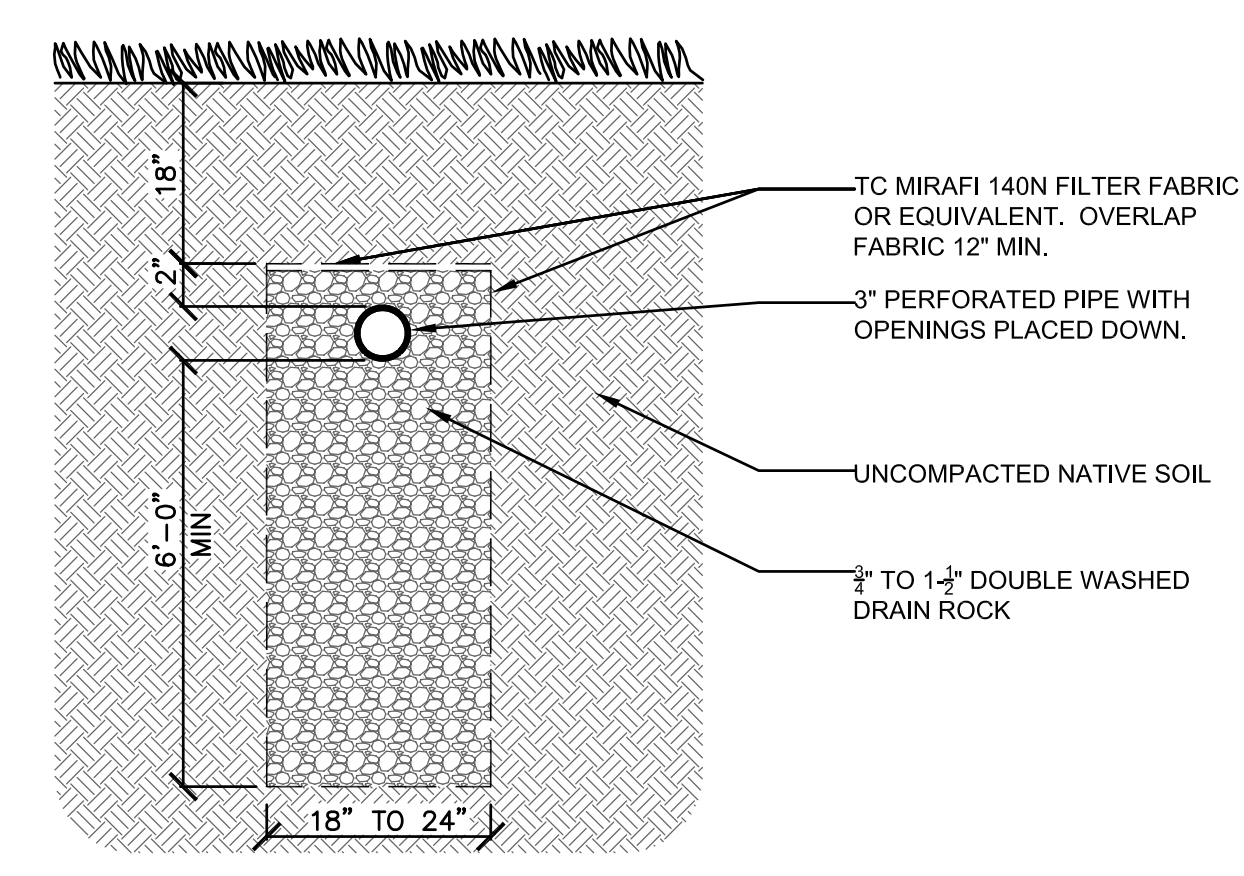
Observed in Field By: [Signature] Date: 9/23/14

rev. 09/18/97



- NOTES:**
- SEPTIC TANK SHALL BE LOCATED IN A PLACE THAT IS ACCESSIBLE FOR VACUUM PUMPING.
  - SEPTIC TANK SHALL BE COMPRISED OF TWO COMPARTMENTS. THE PRIMARY COMPARTMENT SHALL CONTAIN TWO THIRDS OF THE TOTAL TANK VOLUME.
  - EACH COMPARTMENT SHALL BE PROVIDED WITH AN ACCESS PORT EXTENDING TO GRADE AND COVERED WITH WATERTIGHT, WEIGHT BEARING COVERS.
  - SEPTIC TANKS LOCATED UNDER DRIVEWAYS SHALL BE TRAFFIC RATED TO H20-44 TRUCK LOADING STANDARDS AND PROVIDED WITH METAL SEWER ACCESS RINGS AND COVERS OVER BOTH COMPARTMENTS.
  - NO PUMPING OF SEWAGE FROM HOUSE TO SEPTIC TANK SHALL BE PERMITTED; ONLY GRAVITY FLOW SHALL BE UTILIZED.
  - TANKS SHALL HAVE A MINIMUM 8 INCHES OF SOIL COVER.
  - THE OUTLET OF THE SEPTIC TANK SHALL BE FITTED WITH AN EFFLUENT FILTER CONFORMING TO NSF/ANSI STANDARD 46.

**2 SEPTIC TANK** SCALE: NO SCALE  
CATCH BASIN -02-MSTR

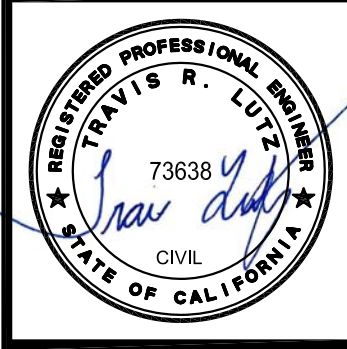


- NOTES:**
- DRAINFIELD TRENCHES SHALL BE SIZED ACCORDING TO THE SITE PERCOLATION RATES AS DETERMINED BY A SAN MATEO COUNTY APPROVED SOIL PERCOLATION TESTER.
  - DRAINFIELD TRENCH LENGTHS SHALL BE A MINIMUM OF 25 FEET AND A MAXIMUM OF LENGTH OF 125 FEET FOR GRAVITY FLOW SYSTEMS.
  - DRAINFIELD TRENCH DEPTH SHALL INCREASE WHERE NECESSARY IN AREAS OF FILL, SUCH THAT A MINIMUM 6'-0" DEPTH OF DRAINROCK BELOW THE PERFORATED PIPE IS MAINTAINED IN NATIVE, UNCOMPACTED SOIL.
  - PERFORATED PIPE SHALL BE A MINIMUM 2000 LB STANDARD CRUSH WEIGHT ASTM F810-8149232 OR GREATER AND SHALL BE CAPPED AT THE ENDS.
  - BOTH THE DRAINFIELD PERFORATED PIPE AND THE TRENCH BOTTOM SHALL BE LEVEL.
  - ALL PIPE CONNECTING SEPTIC TANK TO DRAINFIELD AND BETWEEN UNITS OF DRAINFIELD SHALL BE 3 INCH MINIMUM DIAMETER SOLID PIPE SCHEDULE 40 PVC OR STRONGER.
  - CAPPED OBSERVATION STANDPIPES SHALL BE INSTALLED AT THE END OF EACH DRAINFIELD TRENCH, AND EXTEND FROM THE BOTTOM OF THE TRENCH TO GRADE. THE STANDPIPE SHALL NOT BE CONNECTED TO THE DRAIN LINE.

**4 TRENCH DRAINFIELD** SCALE: 1'-0"=1'-0"  
-02/14/05 -012 -SUBIRAN -MSTR

DATE: \_\_\_\_\_

REVISIONS:

**APN 082-160-130**

**DETAIL SHEET  
 NEW RESIDENCE  
 OLD LA HONDA ROAD  
 SAN GREGORIO, CA 94074**

Date: **04/08/2019**

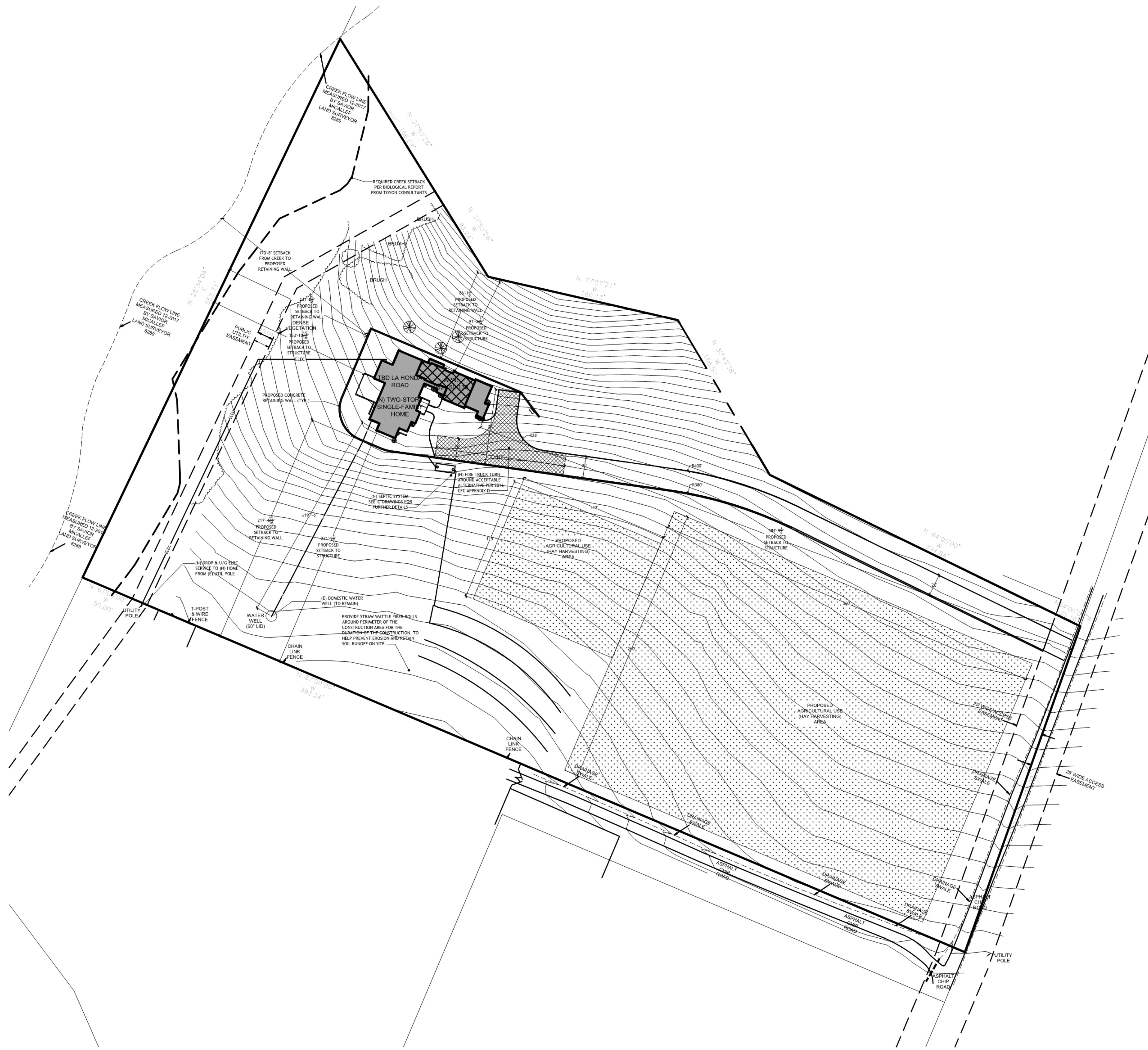
Scale: **AS SHOWN**


Design: **TRL**

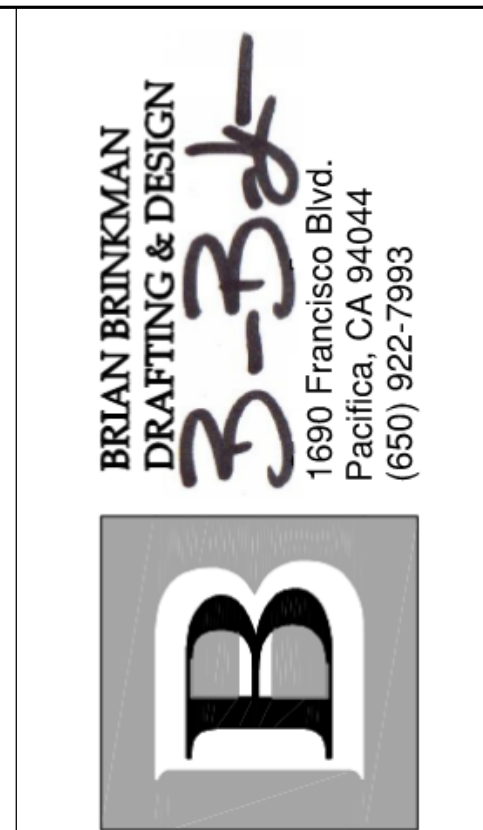
Check: **TRL**

Drawing Number: **SS-2**

PEC Job No.: **PEC 18-134**




 ① OVERALL SITE PLAN  
 1" = 50'-0"



BRIAN BRINKMAN  
 DRAFTING & DESIGN  
**B-B-D**  
 1690 Francisco Blvd.  
 Pacifica, CA 94044  
 (650) 922-7993

REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:  
**NEW SINGLE FAMILY HOME:  
 VERDURA RESIDENCE**

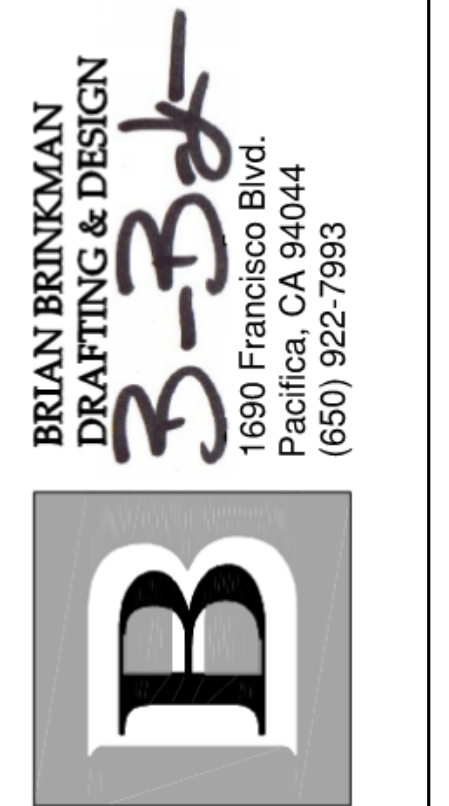
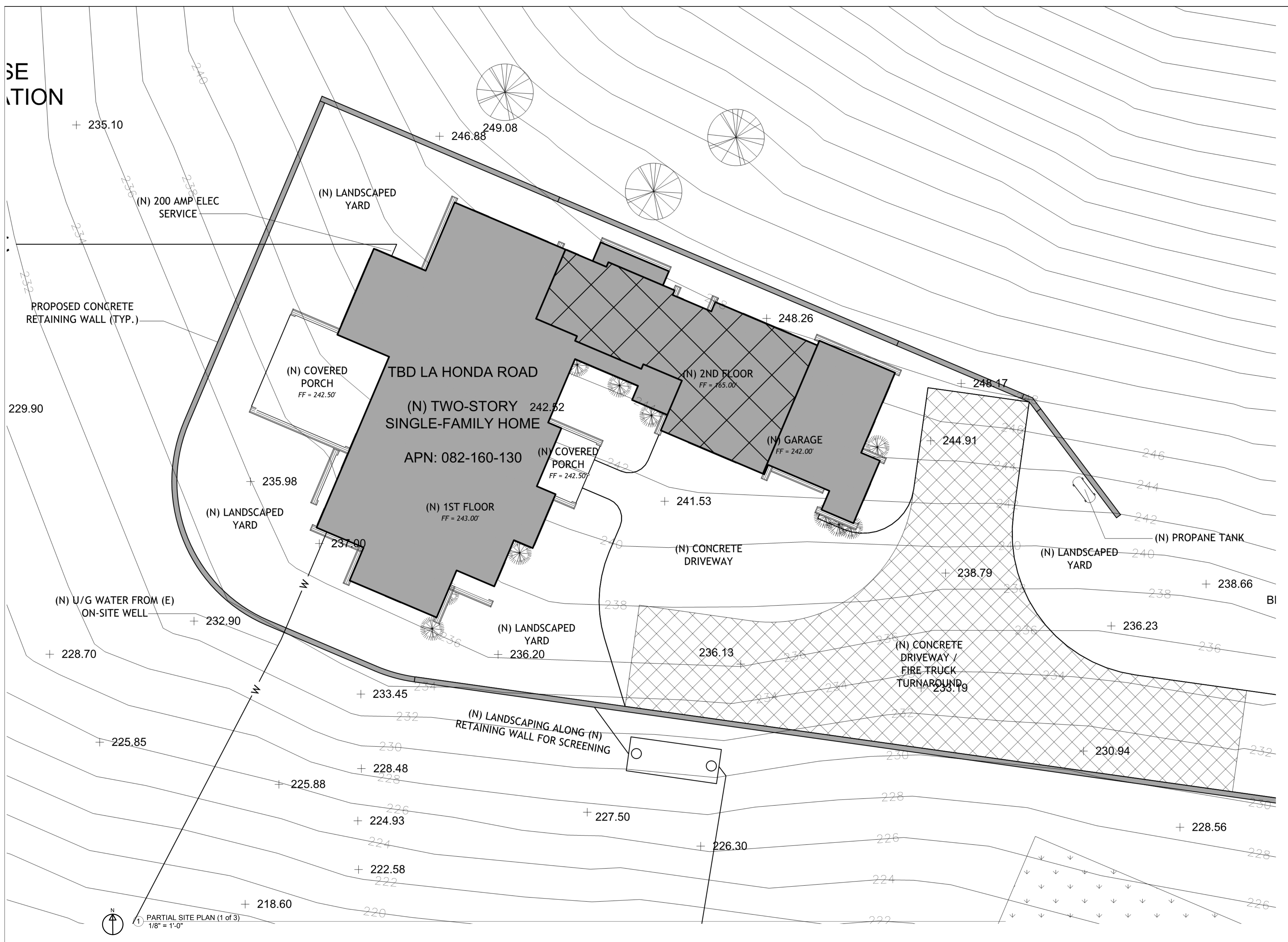
PROJECT ADDRESS:  
**TBD LA HONDA ROAD  
 SAN GREGORIO, CA 94074**

PROJECT SCOPE:  
**CONSTRUCTION OF (N) SINGLE  
 FAMILY HOME W/ ATTACHED  
 GARAGE**

SHEET TITLE  
**OVERALL  
 SITE PLAN**

SHEET  
**A1.0**

SECTION



REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:  
**NEW SINGLE FAMILY HOME:  
 VERDURA RESIDENCE**

PROJECT ADDRESS:  
 TBD LA HONDA ROAD  
 SAN GREGORIO, CA 94074

PROJECT SCOPE:  
 CONSTRUCTION OF (N) SINGLE  
 FAMILY HOME W/ ATTACHED  
 GARAGE

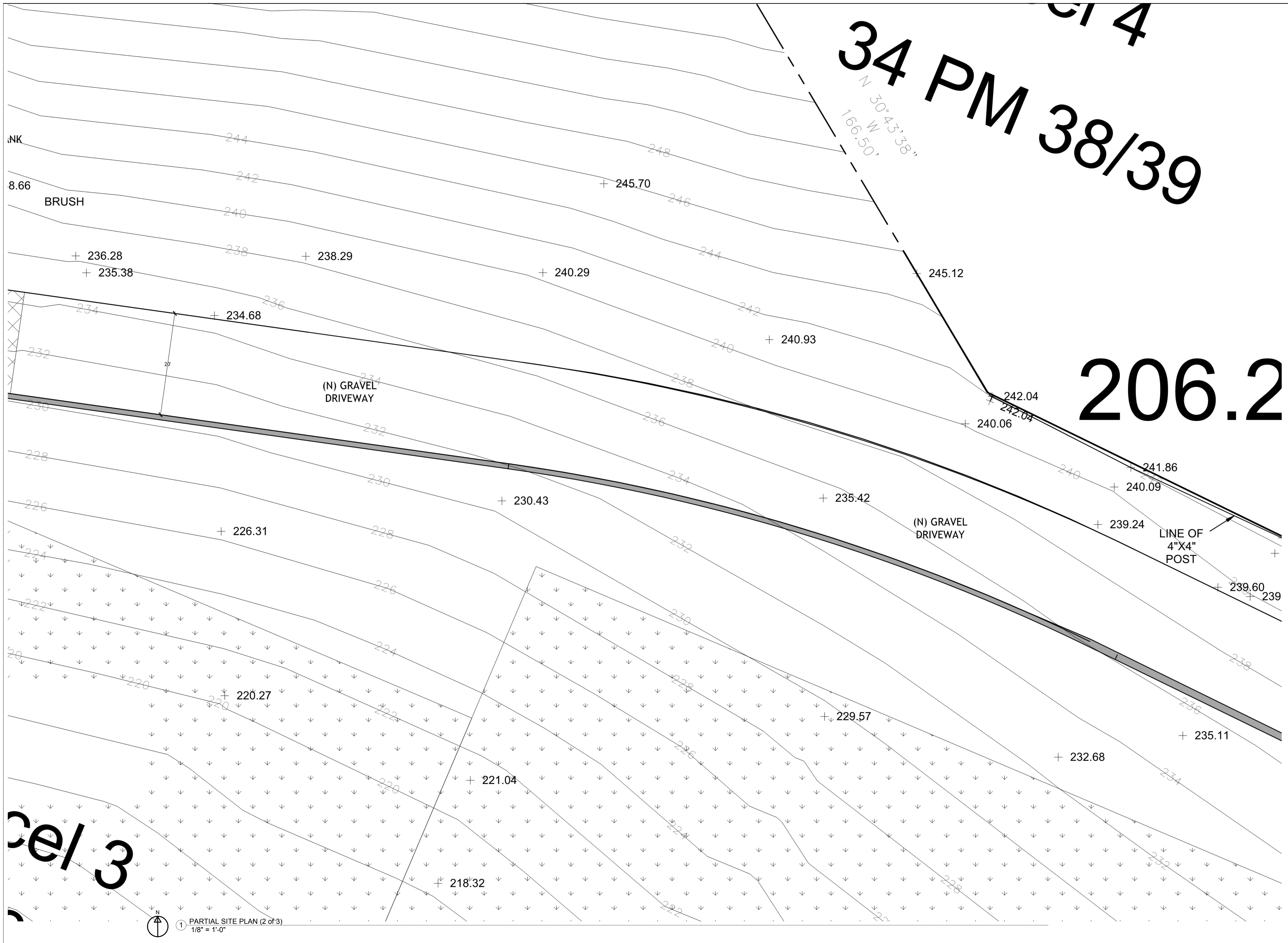
SHEET TITLE  
**PARTIAL  
 SITE PLAN 1  
 of 3**

SHEET  
**A1.1**

1 PARTIAL SITE PLAN (1 of 3)  
 1/8" = 1'-0"

4/30/2019 4:38:29 PM





34 PM 38/39

N 30°43'38"  
166.50'

206.2

3e/3

1 PARTIAL SITE PLAN (2 of 3)  
1/8" = 1'-0"



BRIAN BRINKMAN  
DRAFTING & DESIGN  
1690 Francisco Blvd.  
Pacifica, CA 94044  
(650) 922-7993

REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
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4		

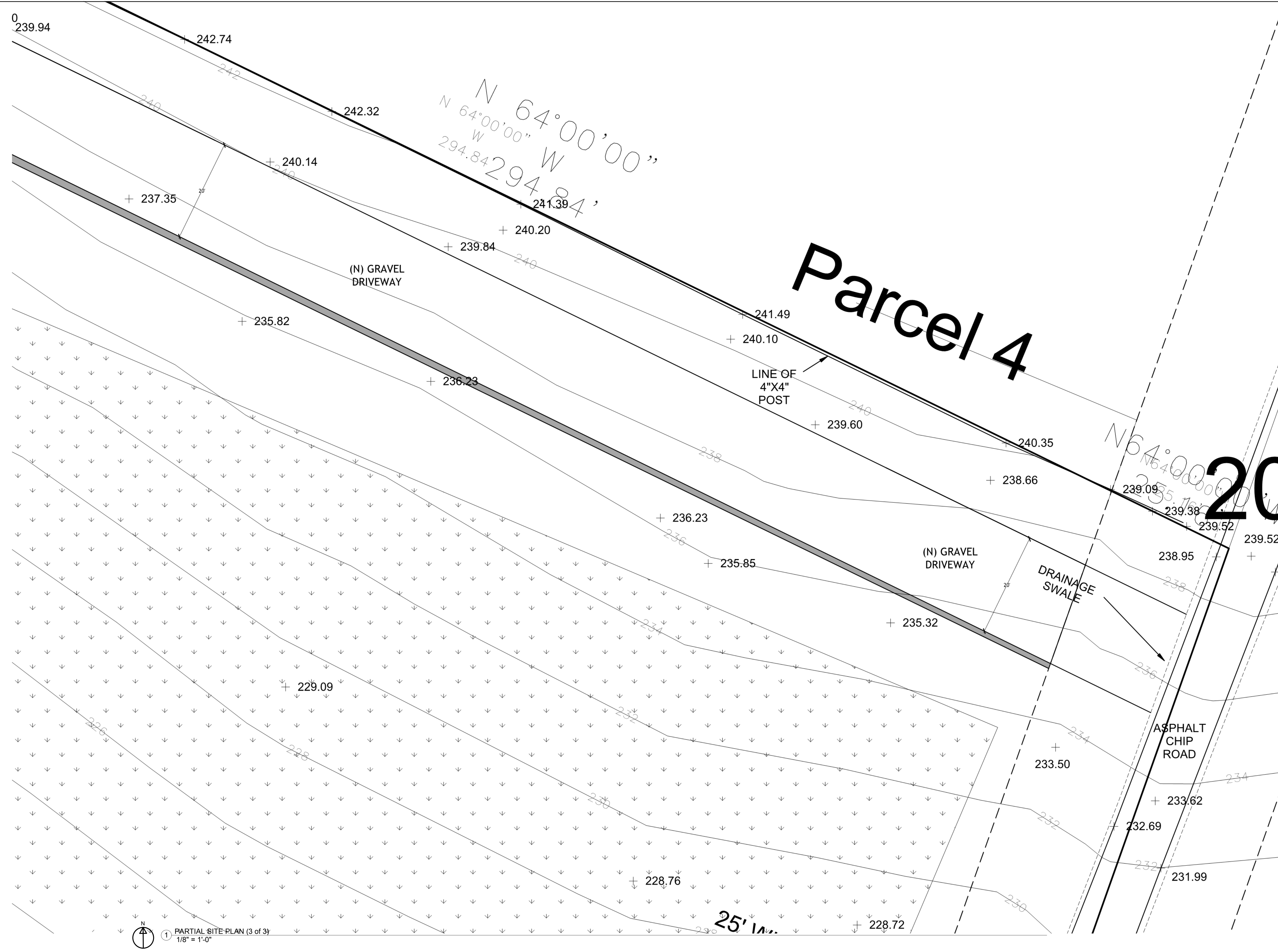
PROJECT NAME:  
**NEW SINGLE FAMILY HOME:  
VERDURA RESIDENCE**

PROJECT ADDRESS:  
TBD LA HONDA ROAD  
SAN GREGORIO, CA 94074

PROJECT SCOPE:  
CONSTRUCTION OF (N) SINGLE  
FAMILY HOME W/ ATTACHED  
GARAGE

SHEET TITLE  
**PARTIAL  
SITE PLAN 2  
of 3**

SHEET  
**A1.2**



REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
2	10/09/2018	PLANNING SUBMITTAL SET
3	04/29/2019	PLANNING RESUBMITTAL
4		

PROJECT NAME:  
**NEW SINGLE FAMILY HOME:  
VERDURA RESIDENCE**

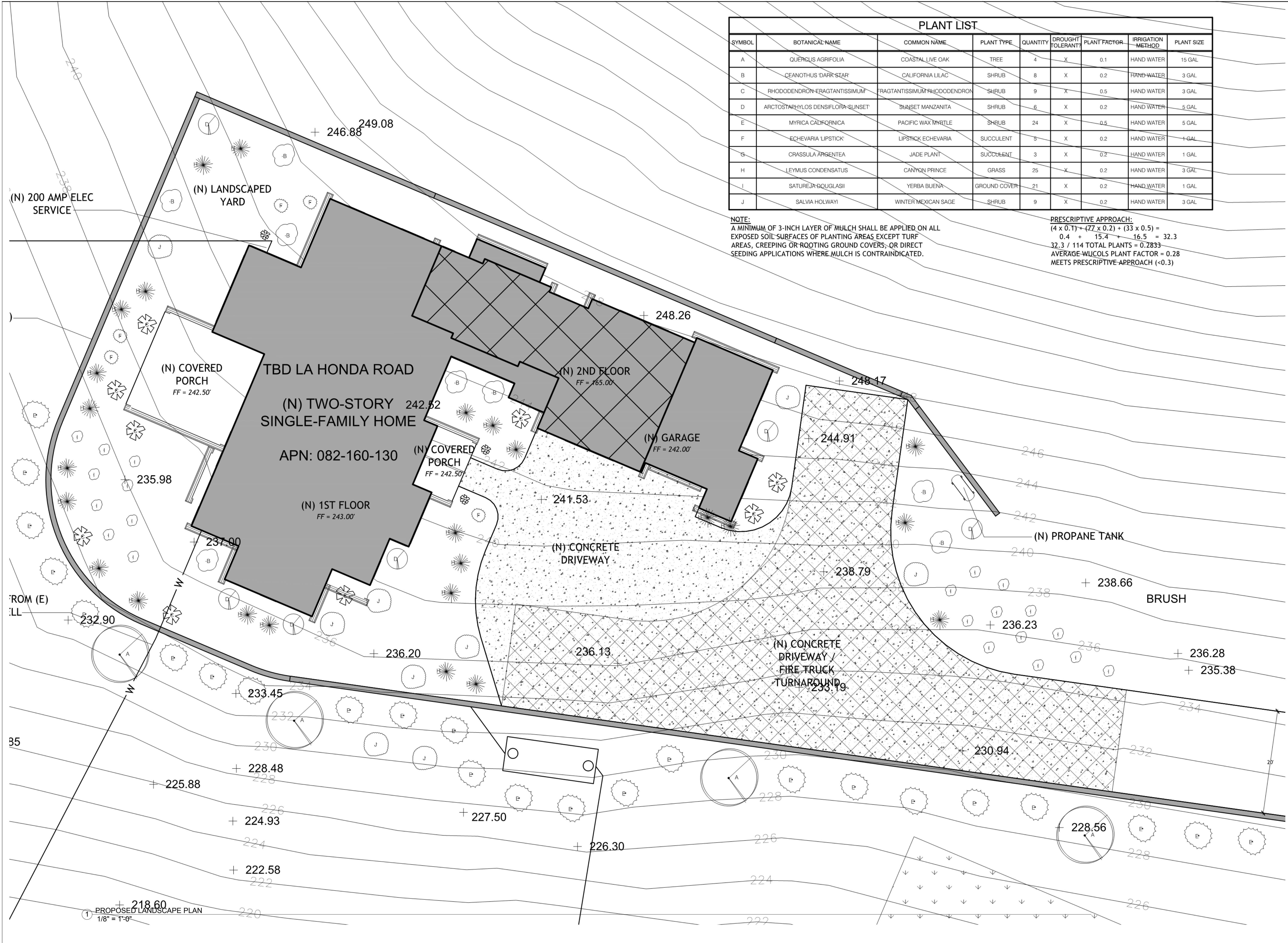
PROJECT ADDRESS:  
TBD LA HONDA ROAD  
SAN GREGORIO, CA 94074

PROJECT SCOPE:  
CONSTRUCTION OF (N) SINGLE  
FAMILY HOME W/ ATTACHED  
GARAGE

SHEET TITLE  
**PARTIAL  
SITE PLAN 3  
of 3**

SHEET  
**A1.3**

1 PARTIAL SITE PLAN (3 of 3)  
1/8" = 1'-0"



PLANT LIST								
SYMBOL	BOTANICAL NAME	COMMON NAME	PLANT TYPE	QUANTITY	DROUGHT TOLERANT?	PLANT FACTOR	IRRIGATION METHOD	PLANT SIZE
A	QUERCUS AGRIFOLIA	COASTAL LIVE OAK	TREE	4	X	0.1	HAND WATER	15 GAL
B	CEANOTHUS DARK STAR	CALIFORNIA LILAC	SHRUB	8	X	0.2	HAND WATER	3 GAL
C	RHODODENDRON ERAGTANTISSIMUM	FRAGRANTISSIMUM RHODODENDRON	SHRUB	9	X	0.5	HAND WATER	3 GAL
D	ARCTOSTAPHYLOS DENSIFLORA 'SUNSET'	SUNSET MANZANITA	SHRUB	6	X	0.2	HAND WATER	5 GAL
E	MYRICA CALIFORNICA	PACIFIC WAX MYRTLE	SHRUB	24	X	0.5	HAND WATER	5 GAL
F	ECHVEARIA LIPSTICK	LIPSTICK ECHEVARIA	SUCCULENT	5	X	0.2	HAND WATER	1 GAL
G	CRASSULA ARGENTEA	JADE PLANT	SUCCULENT	3	X	0.2	HAND WATER	1 GAL
H	LEYMUS CONDENSATUS	CANYON PRINCE	GRASS	25	X	0.2	HAND WATER	3 GAL
I	SATUREJA BOUGLASII	YERBA BUENA	GROUND COVER	21	X	0.2	HAND WATER	1 GAL
J	SALVIA HOLWAYI	WINTER MEXICAN SAGE	SHRUB	9	X	0.2	HAND WATER	3 GAL

**NOTE:**  
 A MINIMUM OF 3-INCH LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT TURF AREAS, CREEPING OR ROOTING GROUND COVERS, OR DIRECT SEEDING APPLICATIONS WHERE MULCH IS CONTRAINDICATED.

**PRESCRIPTIVE APPROACH:**  
 $(4 \times 0.1) + (77 \times 0.2) + (33 \times 0.5) = 0.4 + 15.4 + 16.5 = 32.3$   
 $32.3 / 114 \text{ TOTAL PLANTS} = 0.2833$   
 AVERAGE WUCOLS PLANT FACTOR = 0.28  
 MEETS PRESCRIPTIVE APPROACH (<0.3)

**BRIAN BRINKMAN**  
 DRAFTING & DESIGN  
 3-B-D  
 1690 Francisco Blvd.  
 Pacifica, CA 94044  
 (650) 922-7993



REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
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4		

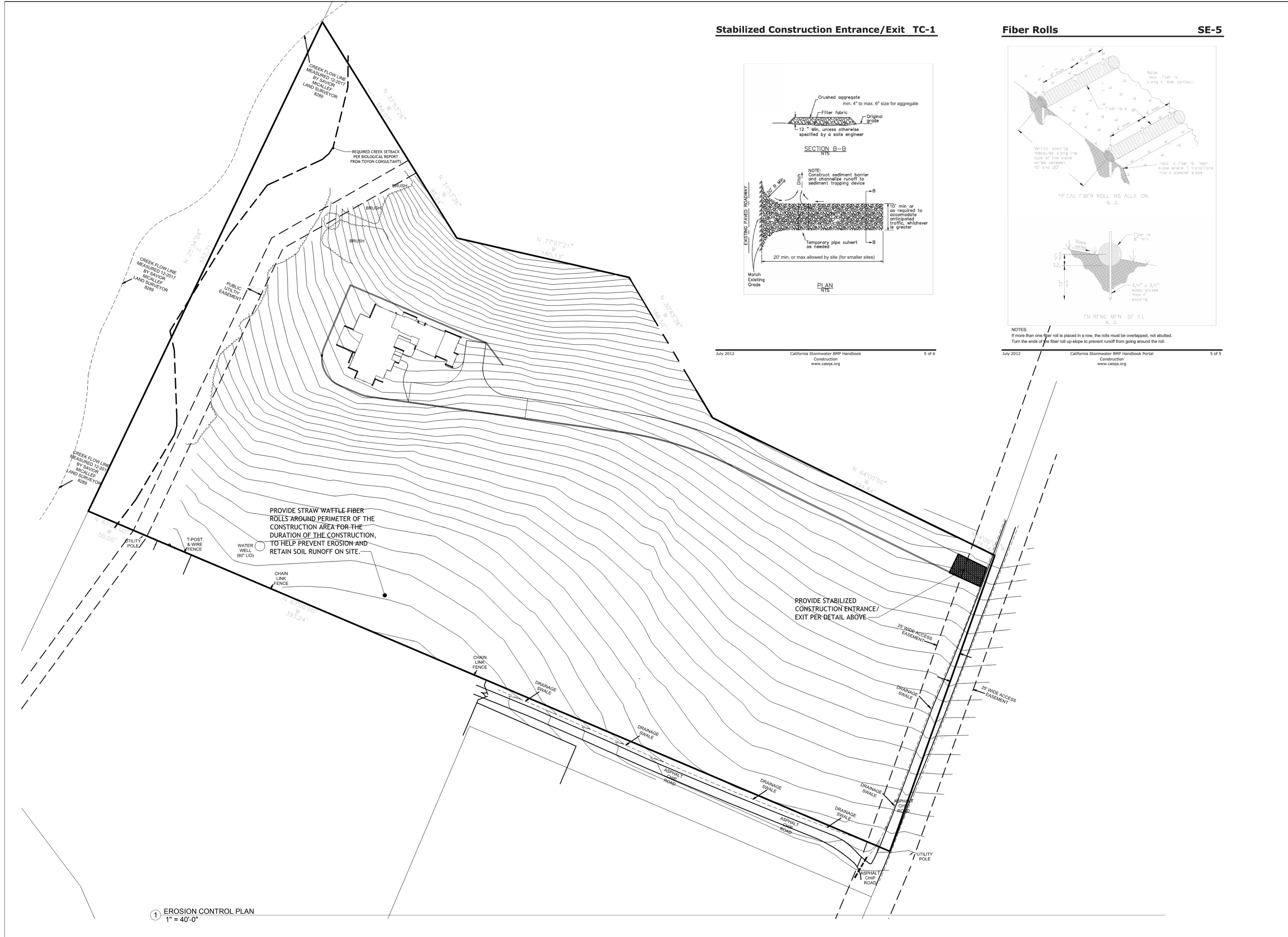
**PROJECT NAME:**  
 NEW SINGLE FAMILY HOME:  
 VERDURA RESIDENCE

**PROJECT ADDRESS:**  
 TBD LA HONDA ROAD  
 SAN GREGORIO, CA 94074

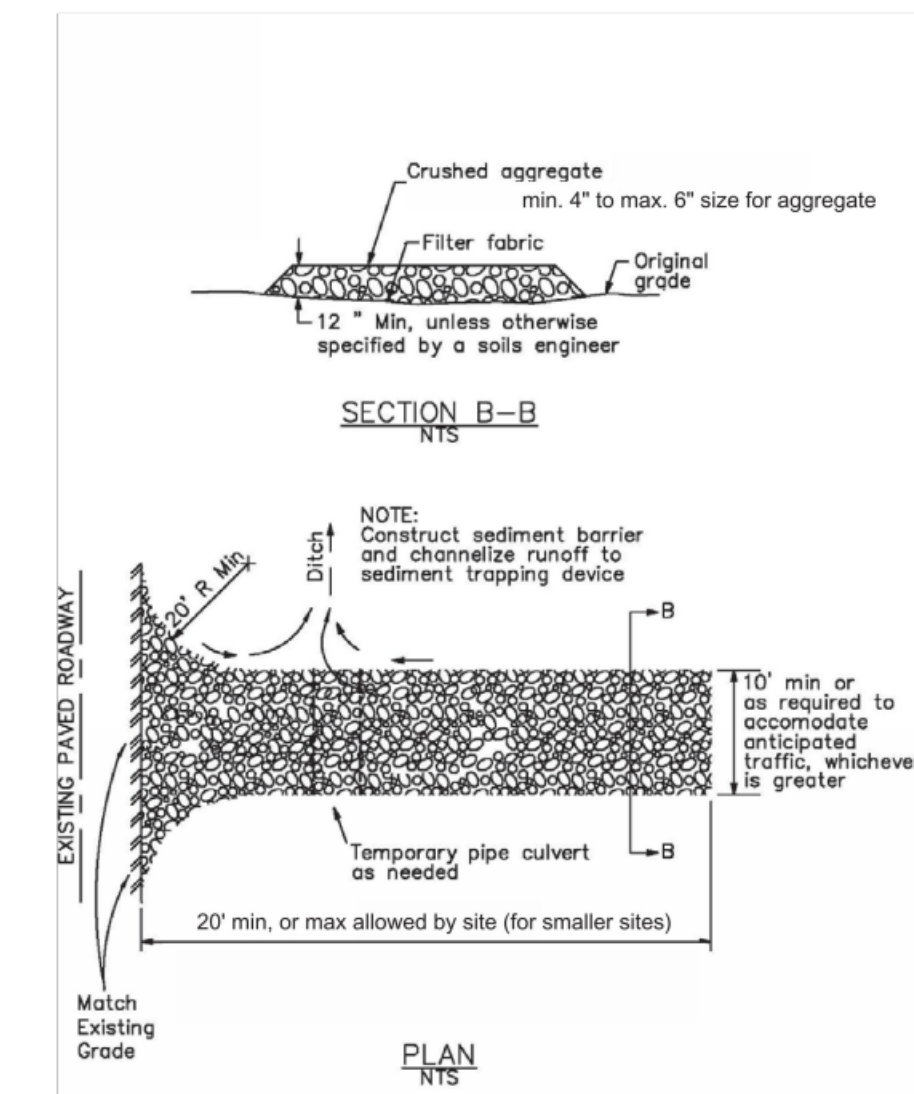
**PROJECT SCOPE:**  
 CONSTRUCTION OF (N) SINGLE  
 FAMILY HOME W/ ATTACHED  
 GARAGE

**SHEET TITLE**  
**PROPOSED LANDSCAPE PLAN**

**SHEET**  
**A1.4**

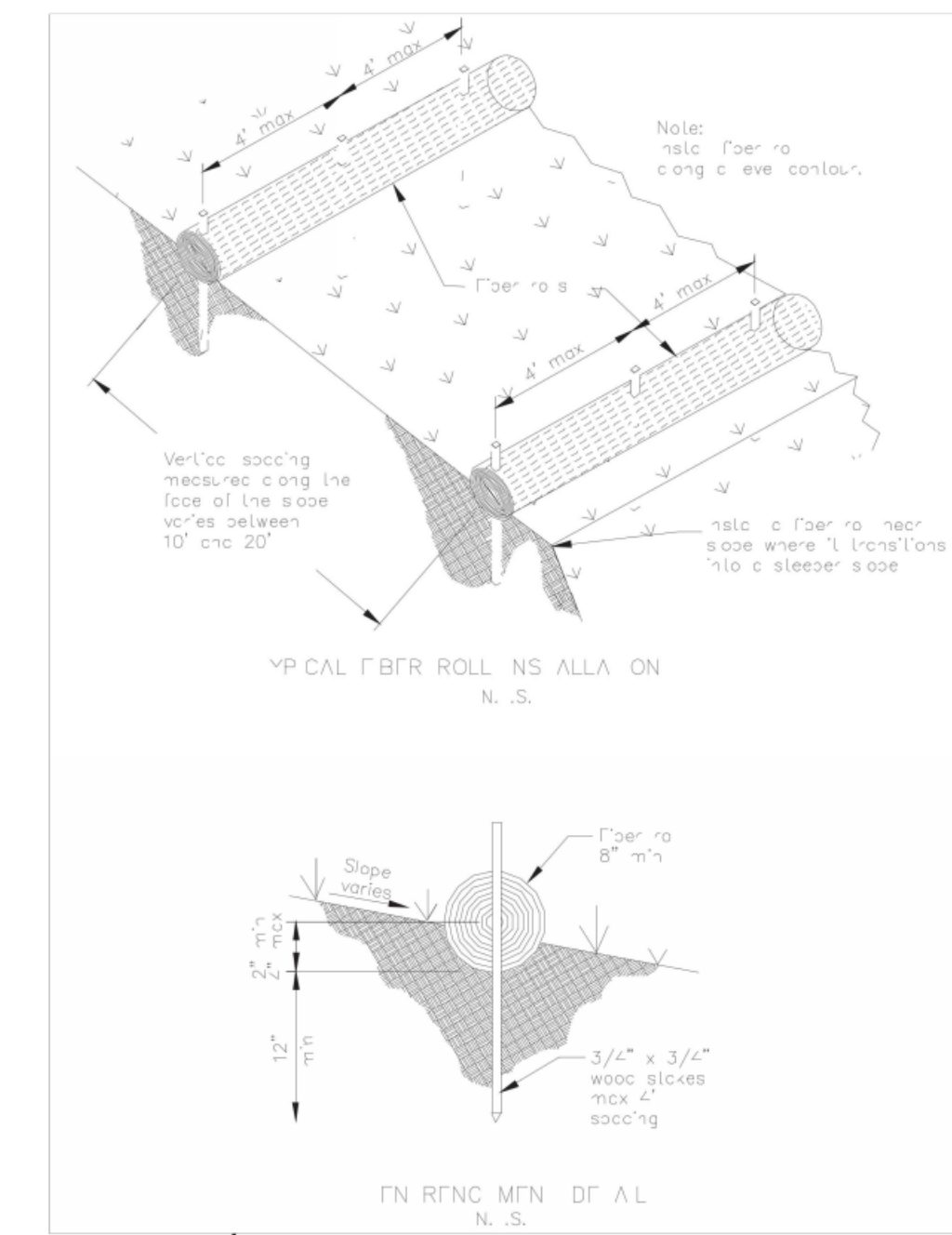


**Stabilized Construction Entrance/Exit TC-1**



July 2012 California Stormwater BMP Handbook Construction www.cdegs.org 5 of 6

**Fiber Rolls SE-5**



July 2012 California Stormwater BMP Handbook Portal Construction www.cdegs.org 5 of 6

1 EROSION CONTROL PLAN  
1" = 40'-0"

**BRIAN BRINKMAN**  
DRAFTING & DESIGN  
**B-B-D**  
1690 Francisco Blvd.  
Pacific, CA 94044  
(650) 922-7993



REV	DATE	DESCRIPTION
0	6/14/2017	PRELIMINARY DESIGN
1	9/17/2018	REVIEW SET
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3	04/29/2019	PLANNING RESUBMITTAL
4		

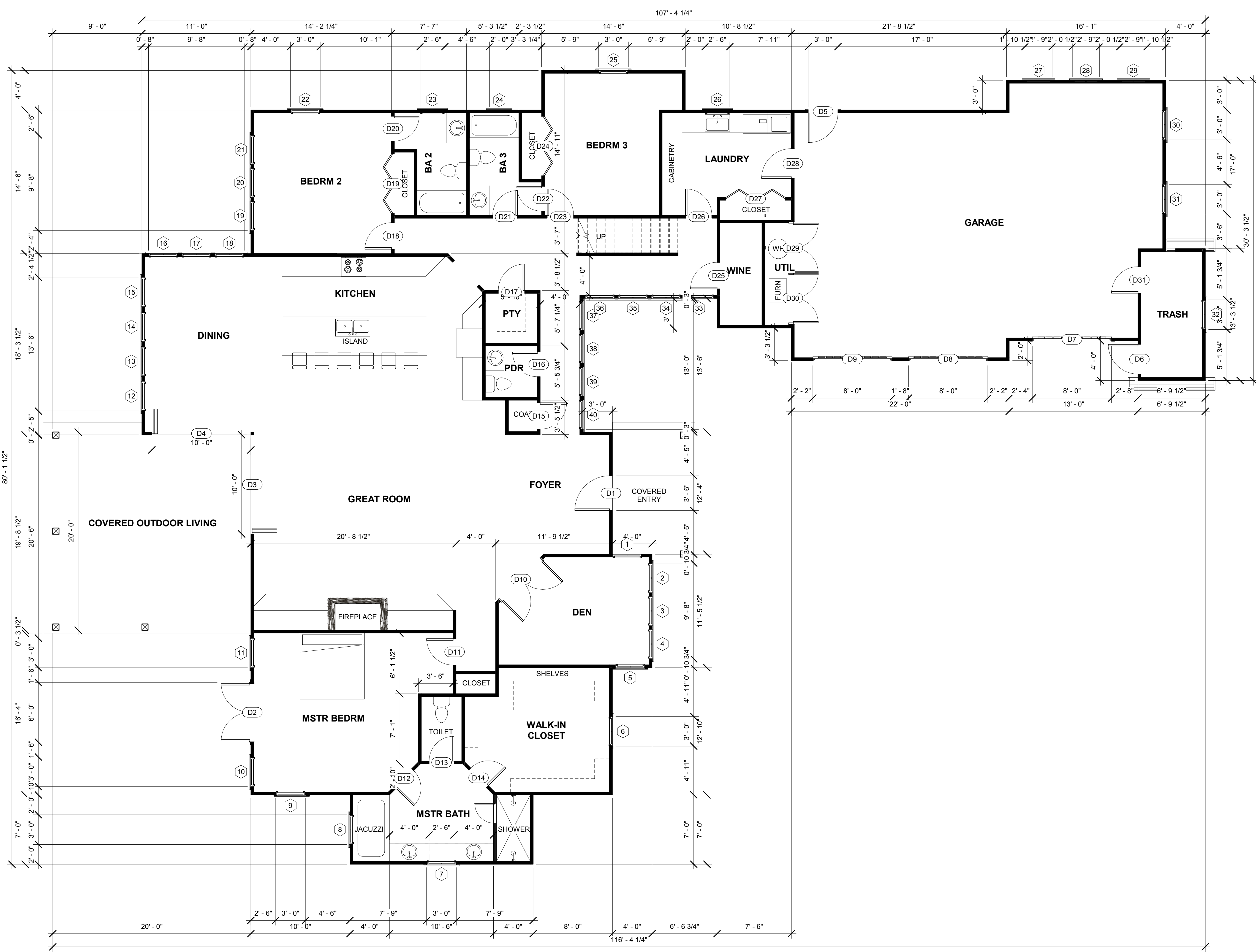
PROJECT NAME:  
**NEW SINGLE FAMILY HOME:  
VERDURA RESIDENCE**

PROJECT ADDRESS:  
TBD LA HONDA ROAD  
SAN GREGORIO, CA 94074

PROJECT SCOPE:  
CONSTRUCTION OF (N) SINGLE  
FAMILY HOME W/ ATTACHED  
GARAGE

SHEET TITLE  
**EROSION  
CONTROL  
PLAN**

SHEET  
**A1.5**



LEVEL 1 DOOR SCHEDULE					
Mark	Level	Width	Height	Operation	Comments
D1	LEVEL 1 FF	3'-6"	8'-0"		
D2	LEVEL 1 FF	6'-0"	8'-0"		
D3	LEVEL 1 FF	10'-0"	8'-0"		
D4	LEVEL 1 FF	10'-0"	8'-0"		
D5	LEVEL 1 FF	3'-0"	7'-0"		
D6	LEVEL 1 FF	3'-0"	7'-0"		
D7	LEVEL 1 FF	8'-0"	8'-0"		
D8	LEVEL 1 FF	8'-0"	8'-0"		
D9	LEVEL 1 FF	8'-0"	8'-0"		
D10	LEVEL 1 FF	6'-0"	7'-2"		
D11	LEVEL 1 FF	2'-8"	7'-0"		
D12	LEVEL 1 FF	2'-6"	7'-0"	SINGLE	
D13	LEVEL 1 FF	2'-6"	7'-0"	SINGLE	
D14	LEVEL 1 FF	2'-6"	7'-0"	SINGLE	
D18	LEVEL 1 FF	2'-8"	7'-0"		
D19	LEVEL 1 FF	6'-0"	6'-8"		
D20	LEVEL 1 FF	2'-6"	7'-0"	SINGLE	
D21	LEVEL 1 FF	2'-6"	7'-0"	SINGLE	
D22	LEVEL 1 FF	2'-6"	7'-0"	SINGLE	
D23	LEVEL 1 FF	2'-8"	7'-0"		
D24	LEVEL 1 FF	6'-0"	6'-8"		
D25	LEVEL 1 FF	2'-8"	7'-0"		
D26	LEVEL 1 FF	2'-8"	7'-0"		
D27	LEVEL 1 FF	6'-0"	6'-8"		
D28	LEVEL 1 FF	3'-0"	7'-0"		
D29	LEVEL 1 FF	5'-0"	7'-0"		
D30	LEVEL 1 FF	5'-0"	7'-0"		
D31	LEVEL 1 FF	2'-8"	7'-0"		

LEVEL 1 WINDOW SCHEDULE							
Mark	Level	Width	Height	Sill Height	Head Height	Operation	Comments
1	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
2	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
3	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
4	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
5	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
6	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
7	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
8	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
9	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
10	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
11	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
12	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
13	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
14	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
15	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
16	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
17	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
18	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
19	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
20	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
21	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
22	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
23	LEVEL 1 FF	2'-6"	4'-0"	4'-0"	8'-0"		
24	LEVEL 1 FF	2'-0"	2'-0"	6'-0"	8'-0"		
25	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
26	LEVEL 1 FF	2'-6"	4'-0"	4'-0"	8'-0"		
27	LEVEL 1 FF	2'-9"	2'-9"	5'-3"	8'-0"		
28	LEVEL 1 FF	2'-9"	2'-9"	5'-3"	8'-0"		
29	LEVEL 1 FF	2'-9"	2'-9"	5'-3"	8'-0"		
30	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
31	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
32	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
33	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
34	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
35	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
36	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
37	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
38	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
39	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		
40	LEVEL 1 FF	3'-0"	5'-0"	3'-0"	8'-0"		

1 LEVEL 1 FLOOR PLAN  
3/16" = 1'-0"

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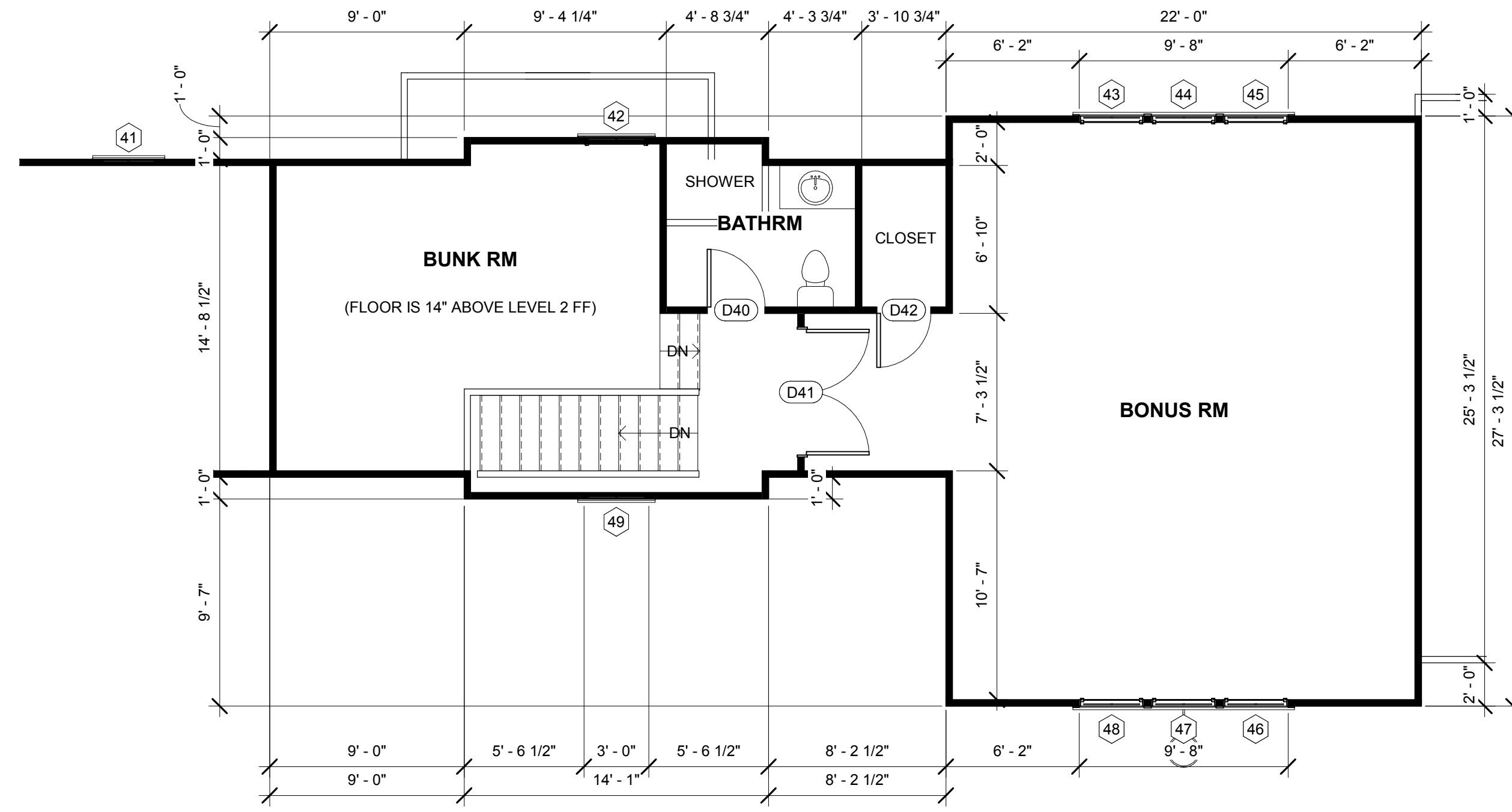
PROJECT NAME:  
**NEW SINGLE FAMILY HOME:  
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TBD LA HONDA ROAD  
SAN GREGORIO, CA 94074

PROJECT SCOPE:  
CONSTRUCTION OF (N) SINGLE  
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GARAGE

SHEET TITLE  
**LEVEL 1  
FLOOR PLAN**

SHEET  
**A2.1**



① LEVEL 2 FLOOR PLAN  
3/16" = 1'-0"

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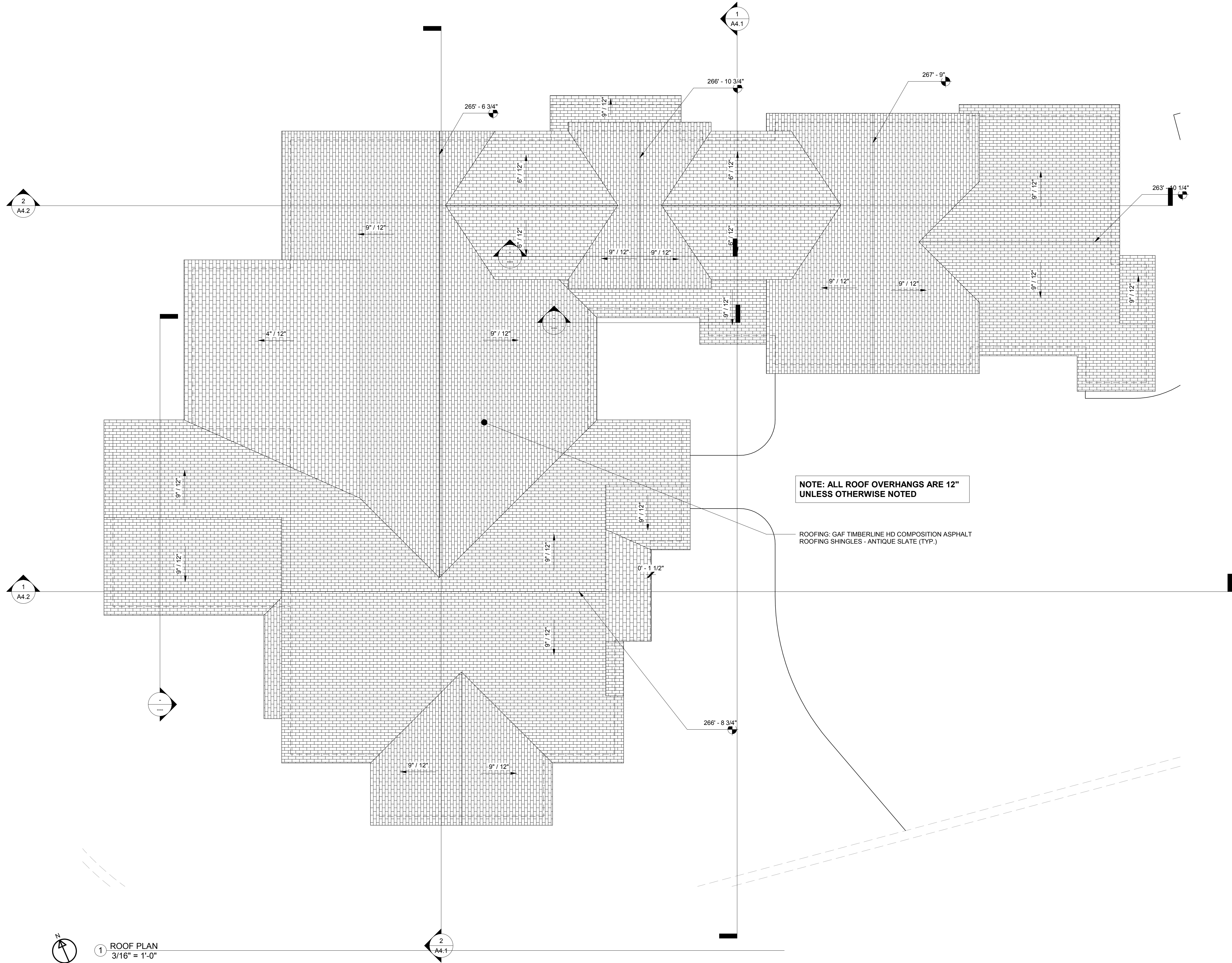
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PROJECT SCOPE:  
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SHEET TITLE  
**LEVEL 2  
 FLOOR PLAN**

SHEET  
**A2.2**



1 ROOF PLAN  
3/16" = 1'-0"

NOTE: ALL ROOF OVERHANGS ARE 12"  
UNLESS OTHERWISE NOTED

ROOFING: GAF TIMBERLINE HD COMPOSITION ASPHALT  
ROOFING SHINGLES - ANTIQUE SLATE (TYP.)



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CONSTRUCTION OF (N) SINGLE  
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SHEET TITLE  
**ROOF PLAN**

SHEET  
**A2.3**



1 EAST ELEVATION  
1/4" = 1'-0"

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SHEET TITLE

**EAST  
ELEVATION**

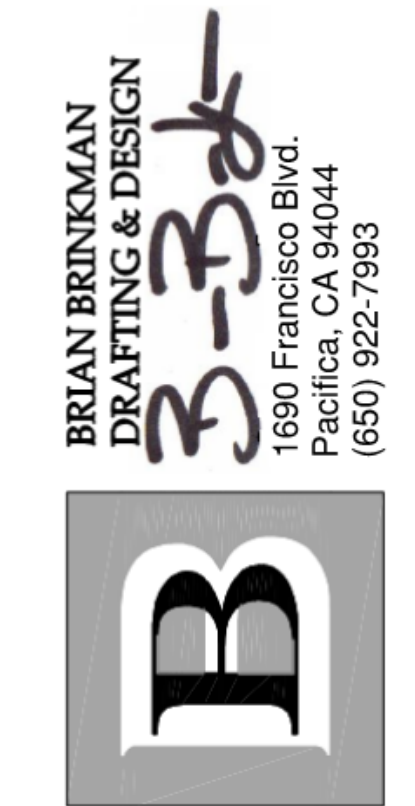
SHEET

**A3.1**





1 SOUTH ELEVATION  
3/16" = 1'-0"



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PROJECT SCOPE:  
CONSTRUCTION OF (N) SINGLE  
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SHEET TITLE  
**SOUTH  
ELEVATION**

SHEET  
**A3.2**



① WEST ELEVATION  
3/16" = 1'-0"

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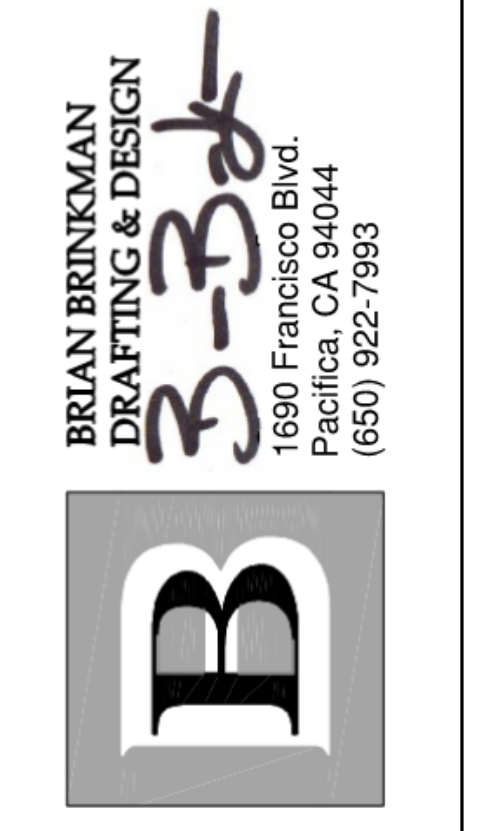
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 CONSTRUCTION OF (N) SINGLE  
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SHEET TITLE  
**WEST  
 ELEVATION**

SHEET  
**A3.3**



1 NORTH ELEVATION  
3/16" = 1'-0"



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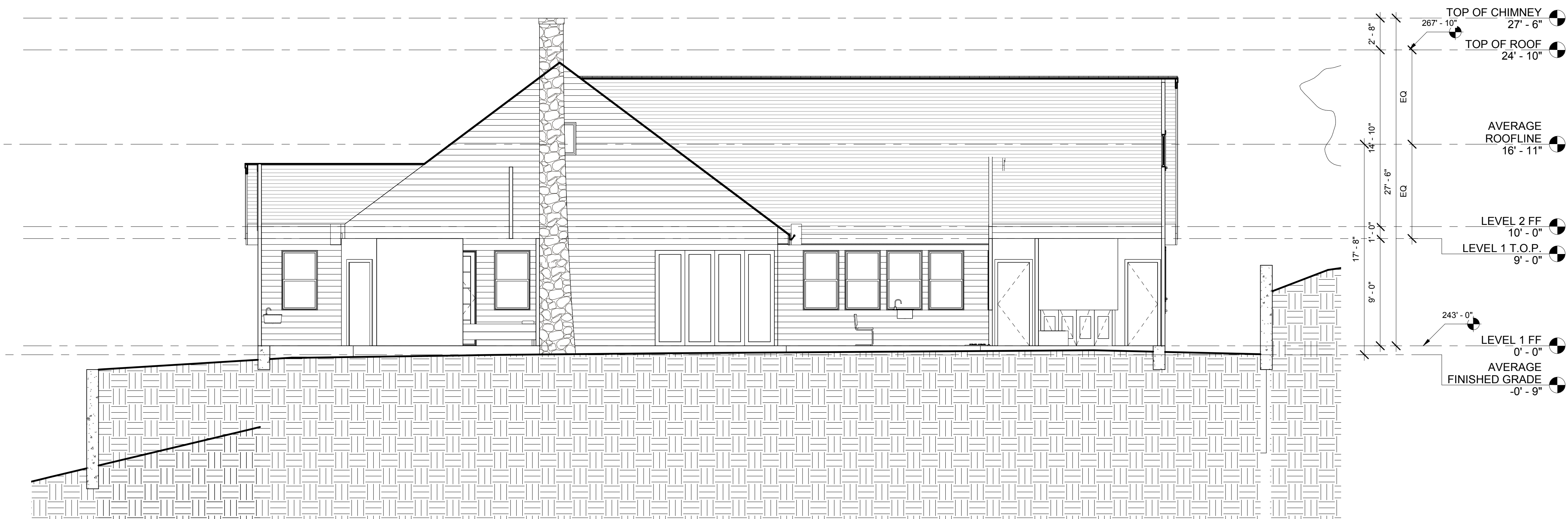
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GARAGE

SHEET TITLE  
**NORTH  
ELEVATION**

SHEET  
**A3.4**



1 TRANSVERSE SECTION 1  
3/16" = 1'-0"



2 TRANSVERSE SECTION 2  
3/16" = 1'-0"



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PROJECT NAME:  
**NEW SINGLE FAMILY HOME:  
VERDURA RESIDENCE**

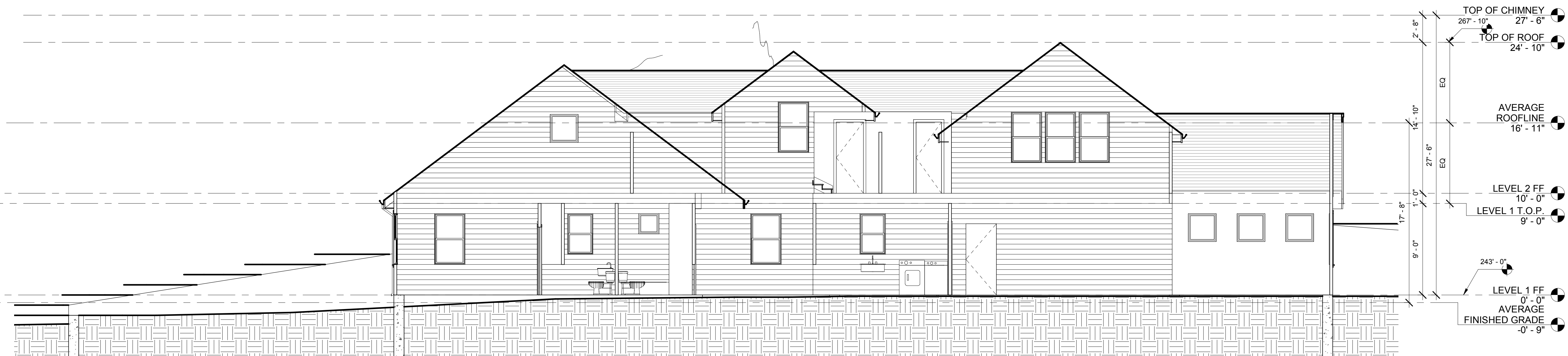
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TBD LA HONDA ROAD  
SAN GREGORIO, CA 94074

PROJECT SCOPE:  
CONSTRUCTION OF (N) SINGLE  
FAMILY HOME W/ ATTACHED  
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SHEET TITLE  
**TRANSVERSE  
SECTIONS**



1 LONGITUDINAL SECTION 1  
3/16" = 1'-0"



2 LONGITUDINAL SECTION 2  
3/16" = 1'-0"

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 PROJECT ADDRESS:  
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 PROJECT SCOPE:  
 CONSTRUCTION OF (N) SINGLE  
 FAMILY HOME W/ ATTACHED  
 GARAGE

SHEET TITLE  
**LONGITUDINAL  
 SECTIONS**

SHEET  
**A4.2**