

455 County Center, 2nd Floor ▪ Redwood City CA 94063  
Mail Drop: PLN 122 ▪ TEL (650) 363-4161 ▪ FAX (650) 363-4849  
www.co.sanmateo.ca.us/planning

# Planning Permit Application Form

PLN: \_\_\_\_\_

BLD: \_\_\_\_\_

## Applicant/Owner Information

Applicant: \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_ H: \_\_\_\_\_

E-mail Address: \_\_\_\_\_ FAX: \_\_\_\_\_

Name of Owner (1): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_

H: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

Name of Owner (2): \_\_\_\_\_

Mailing Address: \_\_\_\_\_

Zip: \_\_\_\_\_

Phone, W: \_\_\_\_\_

H: \_\_\_\_\_

E-mail Address: \_\_\_\_\_

## Project Information

**Project Location** (address): \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Zoning:** \_\_\_\_\_

**Assessor's Parcel Numbers:** \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**Parcel/lot size:** \_\_\_\_\_

List all elements of proposed project: (e.g. access, size and location, primary and accessory structures, well, septic, tank)

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Describe Existing Site Conditions/Features (e.g. topography, water bodies, vegetation):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

Describe Existing Structures and/or Development:

\_\_\_\_\_


\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

## Signatures

We hereby certify that the information stated above and on forms, plans and other materials submitted herewith in support of the application is true and correct to the best of our knowledge. It is our responsibility to inform the County of San Mateo through our assigned project planner of any changes to information represented in these submittals.

Owner's signature: 

Owner's signature: \_\_\_\_\_

Applicant's signature: \_\_\_\_\_



# HARRISON ADDITION & LOT MERGER

1043 DATE STREET  
MONTARA, CA 94037

# HAWK

DESIGN | CONSULTING

P.O. BOX 3535 HALF MOON BAY, CA 94019  
650 . 560 . 8100  
www.hawkdesignandconsulting.com

## VICINITY MAP:



## EXISTING SITE



ADJACENT VACANT LOT SHALL MERGE W/ PRIMARY LOT

## PLAN SHEET LEGEND:

SHEET NO.	SHEET NAME
A1	GENERAL NOTES AND PROJECT DATA
A2	PROJECT NOTES AND SPECIFICATIONS
A3	PROJECT NOTES AND SPECIFICATIONS
A4	PROPOSED SITE PLAN
A5	EXISTING FLOOR PLANS
A6	PROPOSED FIRST FLOOR
A7	PROPOSED SECOND FLOOR
A8	PROPOSED ELEVATIONS
A9	BUILDING MATERIALS
A10	LANDSCAPE
BM1	CONSTRUCTION BEST MANAGEMENT PRACTICES
C-1	GRADING AND DRAINAGE PLAN
C-2	EROSION AND SEDIMENT CONTROL PLAN
SU-1	BOUNDARY AND TOPOGRAPHIC SURVEY

## GENERAL NOTES

All work shall comply with applicable codes and trade standard which govern each phase of work, including, but not limited to: 2022 California Building Code (C.B.C.), 2022 California Mechanical Code (CMC), 2022 National Electrical Code (NEC), 2022 California Electrical Code (CEC), 2022 California Fire Code (CFC), 2022 California Plumbing Code (CPC), 2022 California Energy Standards (CES), and all the applicable city, state, or local codes and/or legislation including 2022 California Green Building Standard Code.

It is the responsibility of the general contractor and all sub-contractors to check and verify all the dimensions and conditions indicated on these drawings and notify the designer of any discrepancies prior to commencing their work.

No guarantee for quality of construction is implied by the architectural documents, and the general contractor shall assume full responsibility for any or all construction deficiencies.

The owner & contractor agrees to indemnify, defend, & hold the designer (HAWK DESIGN & CONSULTING), harmless from and against any and all claims liabilities, suits demands, losses, costs, and expenses, including reasonable attorney's fees and all legal expenses and fees incurred on appeal and all interest thereon, accruing or resulting to any and all persons, firms, or any other legal entity on account of any damage to property or persons, including death, arising out of the performance or non-performance of obligations under this agreement, except where the designer is found to be solely liable for such damages or losses by a court or forum of competent jurisdiction.

The general contractor shall verify size, location, & characteristics of all work and equipment supplied by the owner or others, with the manufacturer or supplier, prior to the start of related work.

Do not accumulate trash or debris on site. Promptly remove material from site per local ordinance.

All dimensions given are to face or wall unless otherwise noted.

All dimensions take precedence over scale.

It is important that all delivery times be checked and holds placed on materials as required to meet construction schedule.

Contractor to seal all penetrations, (e.g. from pipes, drilled holes, etc.), between floors and walls.

All new walls or patched openings in existing walls shall be finished to match adjacent surfaces.

Seal all control joints where exposed to view. Sealant color shall match the color of the finish material.

Provide wood blocking in all stud walls at millwork and special item anchoring points.

It is the intent of the drawings that all exposed surfaces receive finishes as indicated on the drawings unless specifically noted otherwise. The general contractor shall assume full responsibility for the coordination of the complete finish-out of the project. Any surfaces which do not have a specific finish noted, nor are noted to remain unfinished, shall be brought to the attention of the designer and finished per the designer's instructions.

Provide USG Durock cement board at all areas subject to water or moisture.

The temporary (N.F.R.C.) Label which states the listed u-value for all fenestration products shall not be removed prior to inspections.

Verify rough-in dimensions for equipment provided on this contract and equipment by others.

All equipment, fixtures, & other manufactured items shall be installed in strict accordance with the manufacturer's recommendations.

Electrical, plumbing, & HVAC are design/build portions of the work

Design/build portions of the work shall incorporate all design elements, specific fixtures, apparatus, appliances, & performance & aesthetic criteria shown in these documents in their designs. design/build sub-contractors shall provide all necessary drawings & calculations to size lines & equipment & to obtain respective permits. No compensation shall be made by the planning consultant or any design or related fees for these portions of the work.

Details indicated on the drawings are representative and typical. All attachments and connections shall conform to best practice and shall be the contractor's responsibility.

These drawings are "instruments of service" & therefore the copyright property of HAWK DESIGN & CONSULTING. The design and specifications are for use only on the subject property and project, unless prior agreements have been made. Any use, re-use, change, revisions or reproductions of these drawings without expressed written permission of HAWK DESIGN & CONSULTING is strictly prohibited by law. In the event of unauthorized use of these drawings, the user shall hold the designer harmless and bear responsibility of any related legal costs.

## PLANNING INFORMATION:

APN: PRIMARY LOT / VACANT LOT 036-152-320 / 036-152-310  
ZONING: R-1/S - 17/DR/CD  
BLOCK NO.: 34  
LOT NO.: PRIMARY LOT / VACANT LOT 47-48 / 45-46  
MAP PAGE/GRID: PRIMARY LOT & VACANT LOT 152/ 32 & 152/ 31  
LOT SIZE: (AFTER LOT MERGER) 16,250 S.F.  
ZIP CODE: 94037  
YEAR BUILT: 2010  
BUILDING SIZE: (E) LIVING AREA + (E) GARAGE 3,395 S.F.  
LEVELS: 2 STORY, 4 LEVELS

## WORK DESCRIPTION:

- PROPOSED IS A 2-STORY, RESIDENTIAL ADDITION INCLUDING 1,178 SF OF LIVING AREA ABOVE A 4-CAR GARAGE; AN UPPER-LEVEL SKYWALK SHALL CONNECT THE ADDITION TO THE PRIMARY HOUSE.
- IN CONJUNCTION, A LOT MERGER WITH THE ADJACENT VACANT LOT AT THE NORTH SHALL BE IMPLEMENTED.
- EXISTING ENCROACHMENTS WILL REQUIRE A MAINTENANCE AND INDEMNIFICATION AGREEMENT TO BE RECORDED.

## PROJECT DATA: (AFTER LOT MERGER)

	EXISTING	PROPOSED	TOTAL
LOT AREA:	8,125 S.F.	8,125 S.F.	16,250 S.F.
LIVING AREA:	2,910 S.F.	1,178 S.F.	4,088 S.F.
AUXILLARY BUILDING:	--- S.F.	--- S.F.	--- S.F.
GARAGE AREA:	485 S.F.	1,211 S.F.	1,696 S.F.
COVERED DECK AREA:	--- S.F.	109 S.F.	109 S.F.

MAXIMUM LOT COVERAGE ALLOWED (35 %):	5,687 S.F.
EXISTING LOT COVERAGE (11.78 %):	1,915 S.F.
PROPOSED LOT COVERAGE (7.45 %):	1,211 S.F.
TOTAL LOT COVERAGE (19.23 %):	3,126 S.F.
MAXIMUM FLOOR AREA RATIO ALLOWED (50%):	8,125 S.F.
EXISTING FLOOR AREA RATIO (20.89%):	3,395 S.F.
PROPOSED FLOOR AREA RATIO (13.39%):	2,175 S.F.
TOTAL FLOOR AREA RATIO (34.28%):	5,570 S.F.

## LOCAL AND STATE CODES:

All work shall comply with the current 2022 CA Building Code and comply with the County of San Mateo Code and Planning Ordinance including, 2022 CA Mechanical Code, 2022 CA Plumbing Code, 2022 Energy Code, 2022 California Green Building Standard Code, 2022 California Electrical Code, and the 2022 California Residential Code.

All walls to be sheetrocked with and 1/2" drywall and 5/8" drywall on all ceilings.

All walls to be insulated with R-21 Batt Insulation.

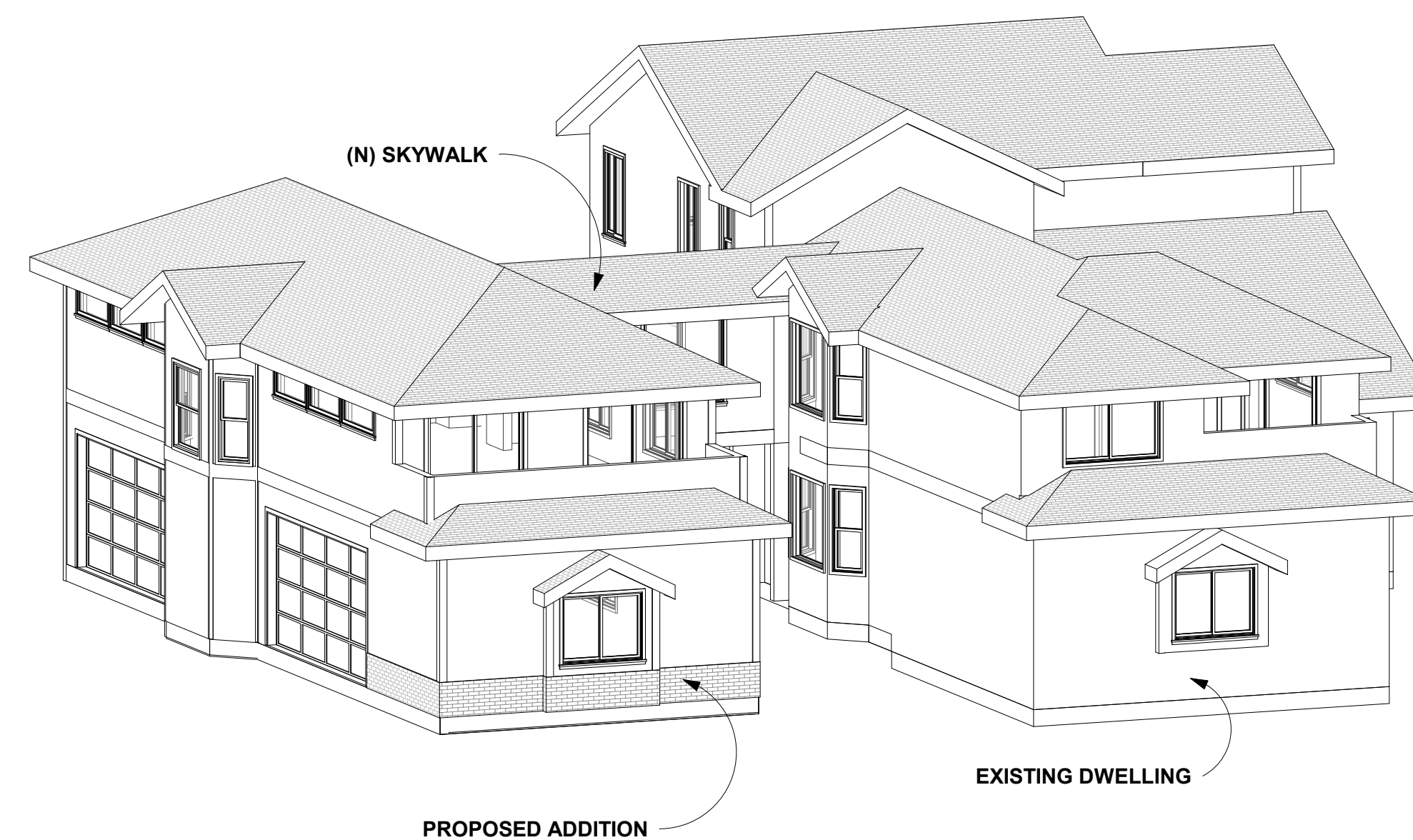
Ceilings to have R-39+ Batt Insulation.

Floors to have R-19 Batt Insulation.

All tempered glass shall be rated.

All windows shall be properly flashed with modified bitumen and Copper or stainless steel z-metal flashing at header trim.

## PROPOSED PERSPECTIVE VIEW:



NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	01/03/22
2	PLANNING REVISION 1	10/26/22
3	PLANNING REVISION 2	05/17/23
4	PLANNING REVISION 3	11/28/23
5	PLANNING REVISION 4	12/20/23

SHEET TITLE:  
**GENERAL NOTES AND  
PROJECT DATA**

DRAWN BY: \_\_\_\_\_ BR  
CAD FILE: \_\_\_\_\_

# A1

ARCHITECTURAL

SCALE:

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.

DESIGNER IS NOT RESPONSIBLE FOR INCORRECT MEASUREMENTS. ANY AND ALL DIMENSIONAL DISPUTES SHALL BE BROUGHT TO THE DESIGNER'S AND/OR CONTRACTOR'S ATTENTION.











**PROJECT:**  
HARRISON ADDITION & LOT MERGER

**OWNER:**  
BEN HARRISON

**PROJECT ADDRESS:**  
1043 DATE STREET  
MONTARA, CA 94037

**CONTACT INFORMATION**  
(650) 563-4444  
ben@harrison.ch

**APPROVAL**

OWNER/AGENT

GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	01/03/22
2	PLANNING REVISION 1	10/26/22
3	PLANNING REVISION 2	05/17/23
4	PLANNING REVISION 3	11/28/23
5	PLANNING REVISION 4	12/20/23

**SHEET TITLE:**  
PROPOSED SITE PLAN

DRAWN BY: BR  
CAD FILE:

# A4

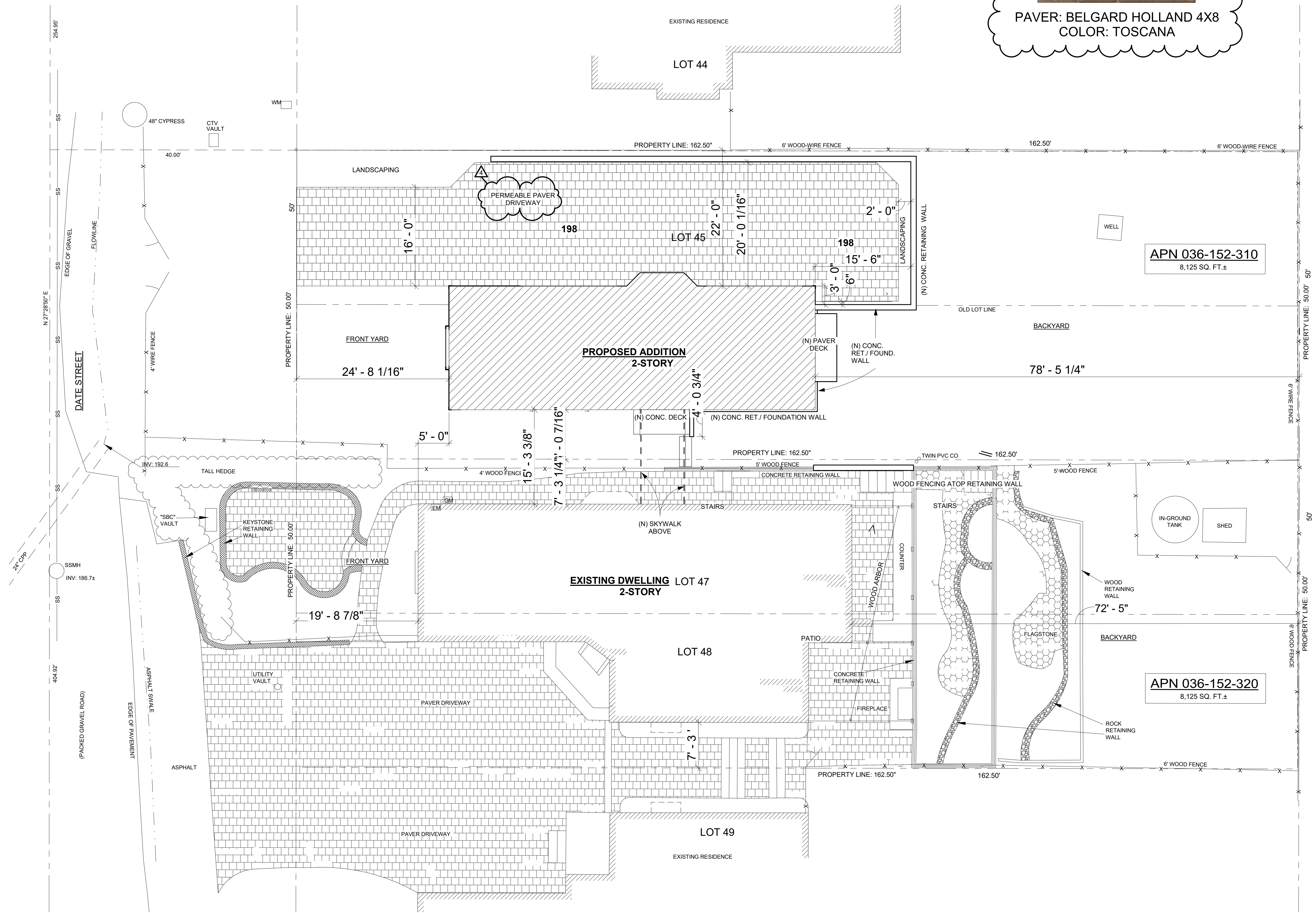
ARCHITECTURAL

**SCALE:** 1/8" = 1'-0"

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.  
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PAVER: BELGARD HOLLAND 4X8  
COLOR: TOSCANA



**1** PROPOSED SITE PLAN  
**A4** SCALE: 1/8" = 1'-0"







NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	01/03/22
2	PLANNING REVISION 1	10/26/22

**SHEET TITLE:**  
**PROPOSED FIRST FLOOR**

DRAWN BY: \_\_\_\_\_  
CAD FILE: \_\_\_\_\_

# A6

ARCHITECTURAL

**SCALE:** As indicated

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.  
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**GRAPHICAL LEGEND**

- EXISTING
- ELEMENT ABOVE
- ELEMENT BELOW
- NEW
- DEMOLITION
- AREA OF NO WORK
- STORM DRAIN
- FIBER ROLLS
- DRAIN PIPE
- DIRECTIONS OF SURFACE DRAINAGE FLOW

**PROPOSED WINDOW SCHEDULE**

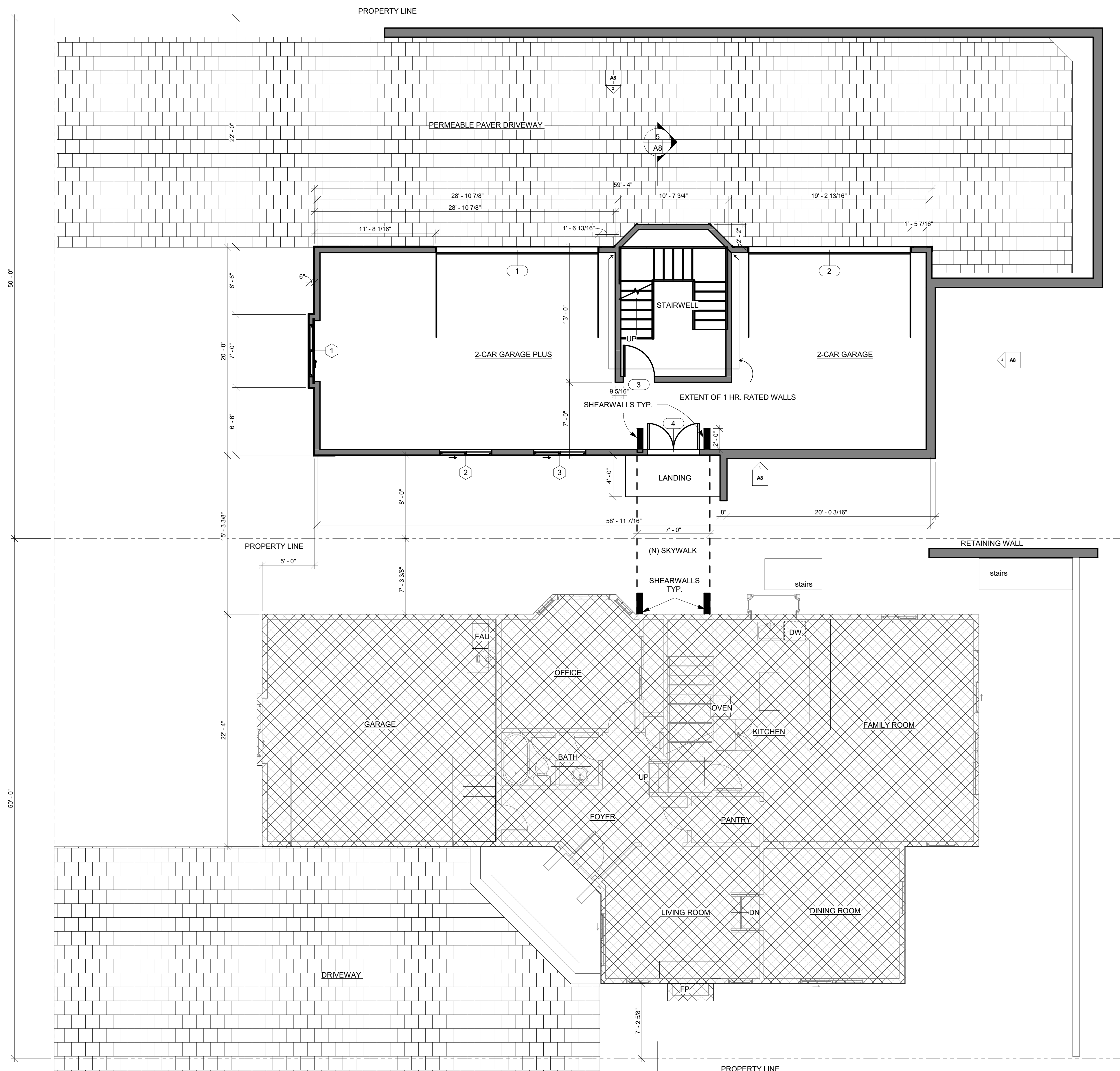
TAG	DESCRIPTION	DIMENSION		NOTE
		WIDTH	HEIGHT	
1	Sliding Windows	5' - 0"	4' - 0"	INSTALL NEW WINDOW
2	Sliding Windows	5' - 0"	5' - 0"	INSTALL NEW WINDOW
3	Sliding Windows	5' - 0"	5' - 0"	INSTALL NEW WINDOW

**PROPOSED DOOR SCHEDULE**

TAG	DESCRIPTION	DIMENSION		NOTES
		WIDTH	HEIGHT	
1	Doors	15' - 6"	7' - 10"	INSTALL NEW GARAGE DOOR
2	Doors	15' - 6"	7' - 10"	INSTALL NEW GARAGE DOOR
3	Doors	3' - 0"	6' - 8"	INSTALL NEW DOOR
4	Doors	5' - 0"	6' - 8"	INSTALL NEW TEMPERED GLASS FRENCH DOOR

**WALLS AND INTERIOR PARTITIONS, WOOD FRAMED**

GA FILE NO. W/P 3239	PROPRIETARY*	1 HOUR FIRE	50 to 54 STC SOUND
<p><b>GYPSUM WALLBOARD, WOOD STUDS</b></p> <p>One layer 5/8" proprietary type X gypsum wallboard or gypsum veneer base applied parallel or at right angles to each side of 2 x 4 wood studs 16" o.c. with 17/8" long, 6d cement coated nails 7" o.c. Vertical joints centered over studs and staggered one stud cavity on opposite sides. Horizontal joints on opposite sides need not be staggered or backed. (LOAD-BEARING)</p> <p>Sound tested with resilient channels 16" o.c. on ONE SIDE, 3 1/2" glass fiber insulation and a double layer of 5/8" proprietary type X gypsum wallboard applied to resilient channels with screws spaced 12 o.c.</p>			
<p><b>PROPRIETARY GYPSUM BOARD</b></p> <p>United States Gypsum Company 5/8" SHEETROCK® Brand UltraLight Panels FIRECODE® X</p>		<p>Thickness: 4 3/4" (Fire) 5 5/8" (Sound)</p> <p>Approx. Weight: 7 psf</p> <p>Fire Test: UL R1319, 10CA37600, 12-3-10, UL Design U327</p> <p>Sound Test: RAL TL11-174, 5-23-11</p>	



**1 PROPOSED FIRST FLOOR**

**A6** SCALE: 3/16" = 1'-0"



OWNER/AGENT

GENERAL CONTRACTOR

SUBCONTRACTOR

NO.	REVISION/DESCRIPTION	DATE
1	PLANNING SUBMITTAL	01/03/22
2	PLANNING REVISION 1	10/26/22
4	PLANNING REVISION 3	11/28/23

**SHEET TITLE:**  
**PROPOSED SECOND FLOOR**

DRAWN BY: \_\_\_\_\_  
CAD FILE: \_\_\_\_\_

# A7

ARCHITECTURAL

**SCALE:** As indicated

PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.  
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## GRAPHICAL LEGEND

SCALE: 1/2" = 1'-0"

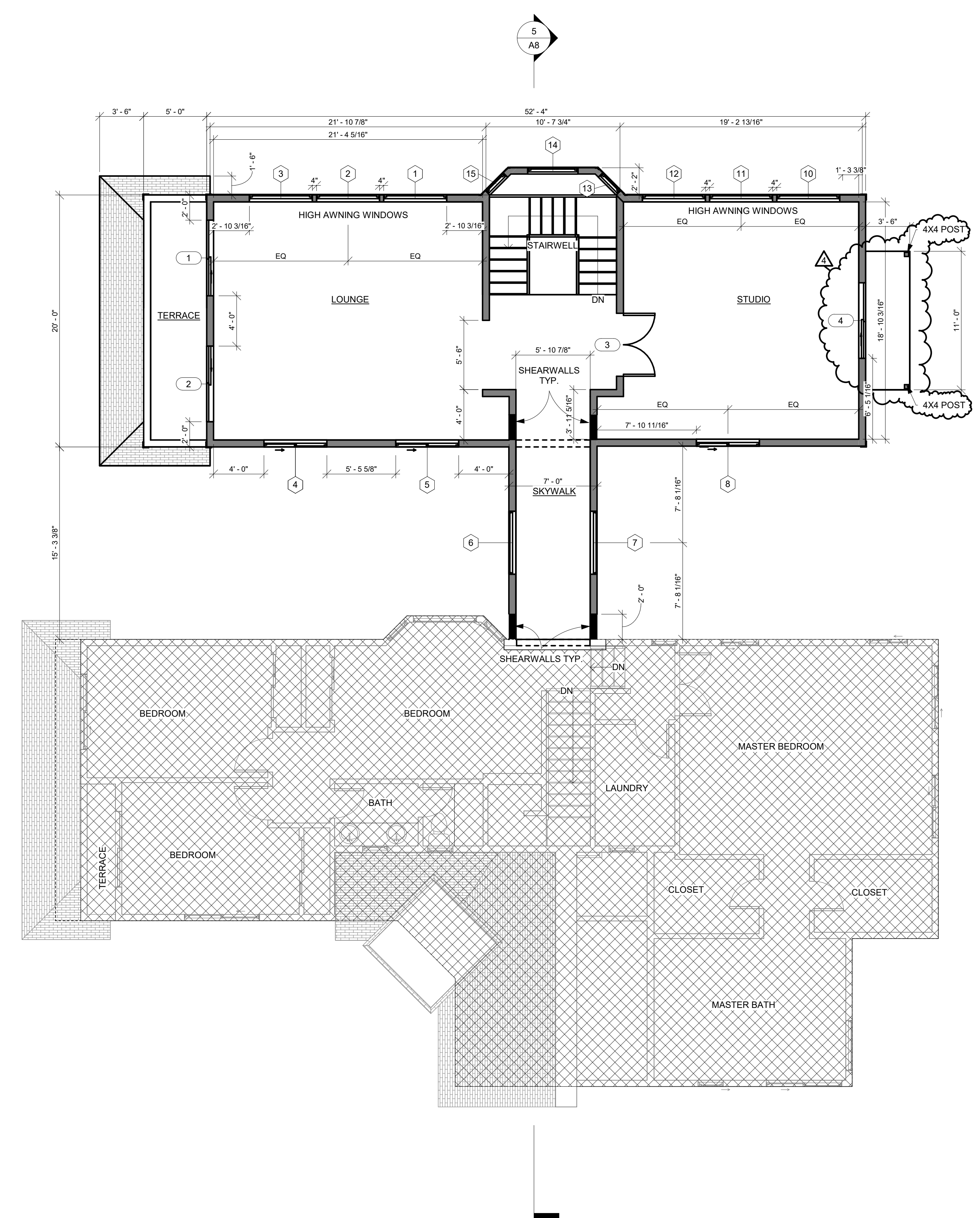
- EXISTING
- ELEMENT ABOVE
- ELEMENT BELOW
- NEW
- DEMOLITION
- AREA OF NO WORK
- STORM DRAIN
- FIBER ROLLS
- DRAIN PIPE
- DIRECTIONS OF SURFACE DRAINAGE FLOW

## PROPOSED WINDOW SCHEDULE

TAG	DESCRIPTION	DIMENSION		NOTE
		WIDTH	HEIGHT	
1	Windows	5' - 0"	2' - 0"	INSTALL NEW AWNING WINDOW
2	Windows	5' - 0"	2' - 0"	INSTALL NEW AWNING WINDOW
3	Windows	5' - 0"	2' - 0"	INSTALL NEW AWNING WINDOW
4	Sliding Windows	5' - 0"	5' - 0"	INSTALL NEW SLIDING WINDOW
5	Sliding Windows	5' - 0"	5' - 0"	INSTALL NEW SLIDING WINDOW
6	Fixed Windows	5' - 0"	5' - 0"	INSTALL NEW FIXED WINDOW
7	Fixed Windows	5' - 0"	5' - 0"	INSTALL NEW FIXED WINDOW
8	Sliding Windows	5' - 0"	5' - 0"	INSTALL NEW SLIDING WINDOW
10	Windows	5' - 0"	2' - 0"	INSTALL NEW AWNING WINDOW
11	Windows	5' - 0"	2' - 0"	INSTALL NEW AWNING WINDOW
12	Windows	5' - 0"	2' - 0"	INSTALL NEW AWNING WINDOW
13	Double-Hung Windows	2' - 0"	5' - 0"	INSTALL NEW FIXED WINDOW
14	Double-Hung Windows	4' - 0"	5' - 0"	INSTALL NEW WINDOW
15	Double-Hung Windows	2' - 0"	5' - 0"	INSTALL NEW WINDOW

## PROPOSED DOOR SCHEDULE

TAG	DESCRIPTION	DIMENSION		NOTES
		WIDTH	HEIGHT	
1	Sliding Doors	6' - 0"	6' - 8"	INSTALL NEW TEMPERED GLASS SLIDING DOOR
2	Sliding Doors	6' - 0"	6' - 8"	INSTALL NEW TEMPERED GLASS SLIDING DOOR
3	Sliding Doors	5' - 0"	6' - 8"	INSTALL NEW FRENCH DOOR
4	Sliding Doors	6' - 0"	6' - 8"	INSTALL NEW TEMPERED GLASS SLIDING DOOR



**1** PROPOSED SECOND FLOOR  
**A7** SCALE: 3/16" = 1'-0"



**PROJECT:**  
HARRISON ADDITION & LOT MERGER

**OWNER:**  
BEN HARRISON

**PROJECT ADDRESS:**  
1043 DATE STREET  
MONTARA, CA 94037

**CONTACT INFORMATION**  
(650) 563-4444  
ben@harrison.ch

**APPROVAL**

OWNER/AGENT

GENERAL CONTRACTOR

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**SHEET TITLE:**  
PROPOSED ELEVATIONS

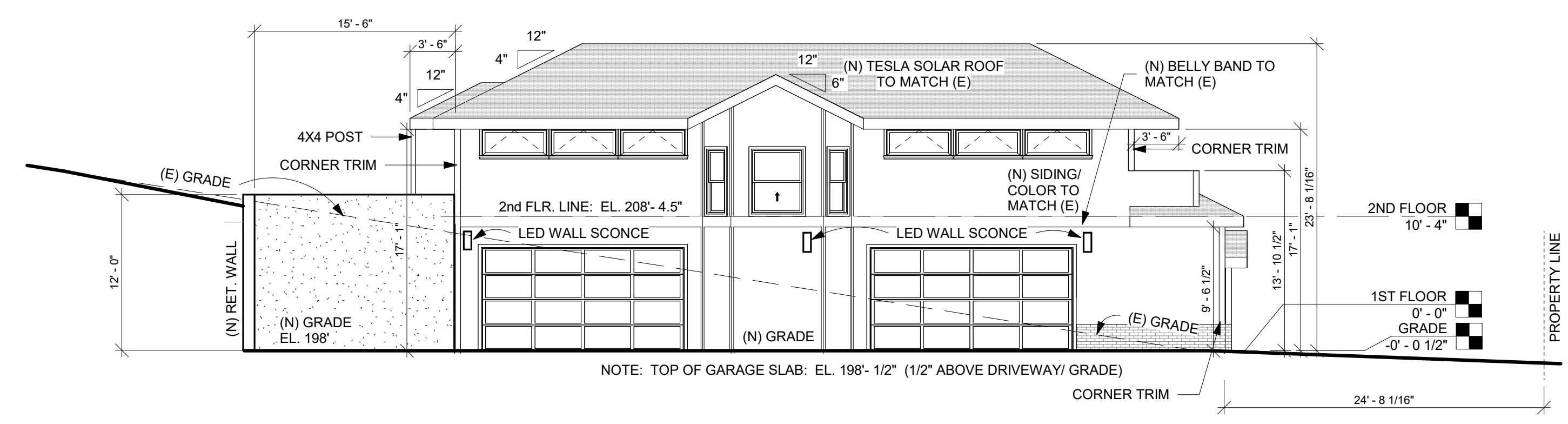
DRAWN BY: \_\_\_\_\_  
CAD FILE: \_\_\_\_\_

# A8

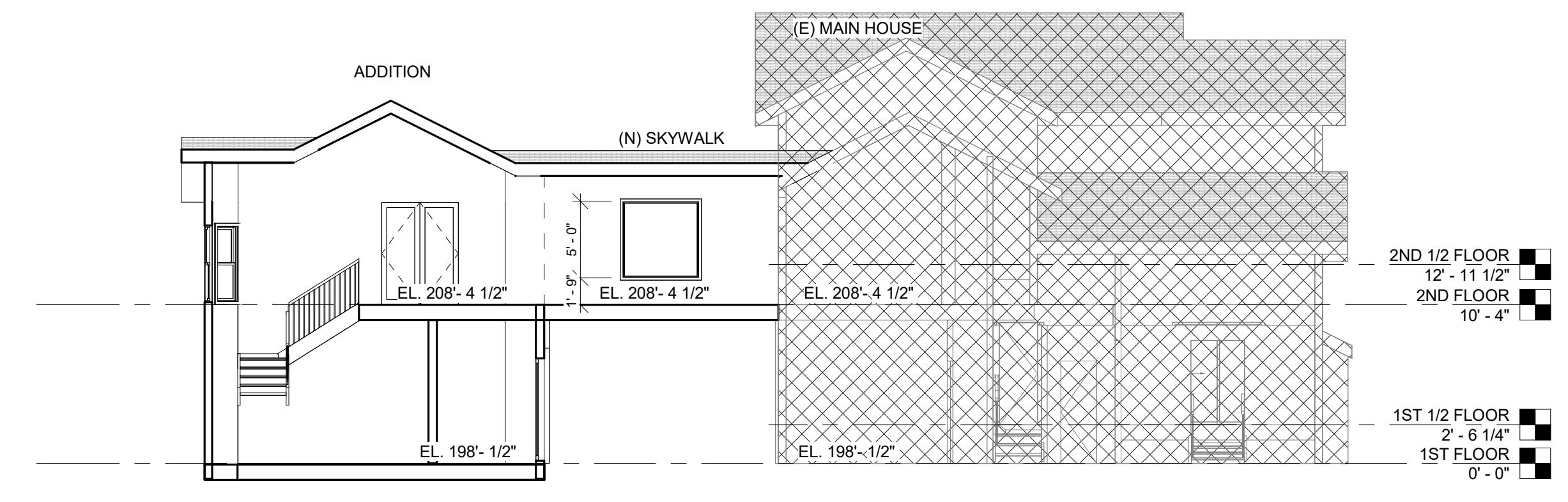
ARCHITECTURAL

**SCALE:** 1/8" = 1'-0"

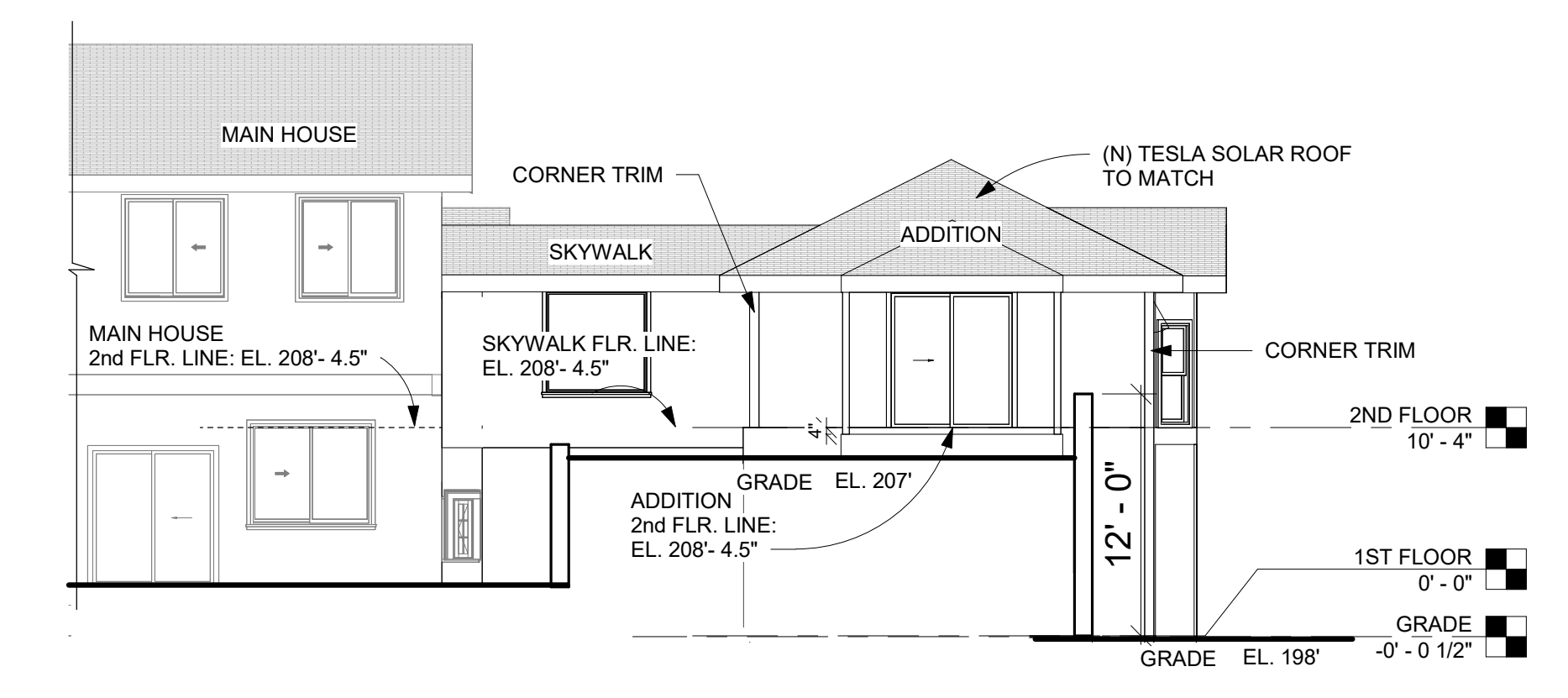
PLEASE VERIFY ALL DIMENSIONS AND REVIEW DETAILS AND NOTES FOR, BUT NOT LIMITED TO, CABINETS, PLUMBING, STRUCTURAL, AND ELECTRICAL COMPONENTS.  
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**2** NORTH ELEVATION - PROPOSED ADDITION  
**A8** SCALE: 1/8" = 1'-0"



**5** Section 5  
**A8** SCALE: 1/8" = 1'-0"



**4** EAST ELEVATION - PROPOSED ADDITION  
**A8** SCALE: 1/8" = 1'-0"

**Hiline Indoor/Outdoor LED Wall Sconce**  
By Modern Forms



**Product Options**  
Finish: Black, Bronze  
Size: Short, Medium

- Details**
- Sealed LED Housing
  - Multi-Tiered Deck Design
  - Rated Life: 50,000 Hours
  - Designed in 2015
  - Material: Aluminum
  - Shade Material: Etched Glass Light Shield
  - Dimmer Range: 10%
  - ADA compliant, Dark Sky compliant
  - ETL Listed Wet
  - Warranty: 5 Years Functional, 2 Years Finish
  - Made in China

**Dimensions**  
Short Option Fixture: Width 5", Height 8", Depth 2.75"  
Medium Option Fixture: Width 6", Height 12", Depth 2.75"  
Full Option Fixture: Width 7", Height 15", Depth 2.75"

**Lighting**  
• 8 Watt (480 Lumens) 120 Volt Integrated LED; CRI: 85 Color Temp: 3000K  
Lifespan: 50000 hours

**Additional Details**  
Product URL:  
<https://www.lumens.com/hiline-indoor-outdoor-led-wall-sconce-by-modern-forms-us04690.html>  
Rating: ETL Listed Wet

**Product ID:** uu504690

Prepared by: \_\_\_\_\_  
Project: \_\_\_\_\_  
Revised: \_\_\_\_\_  
Placement: \_\_\_\_\_  
Approval: \_\_\_\_\_



Notes:

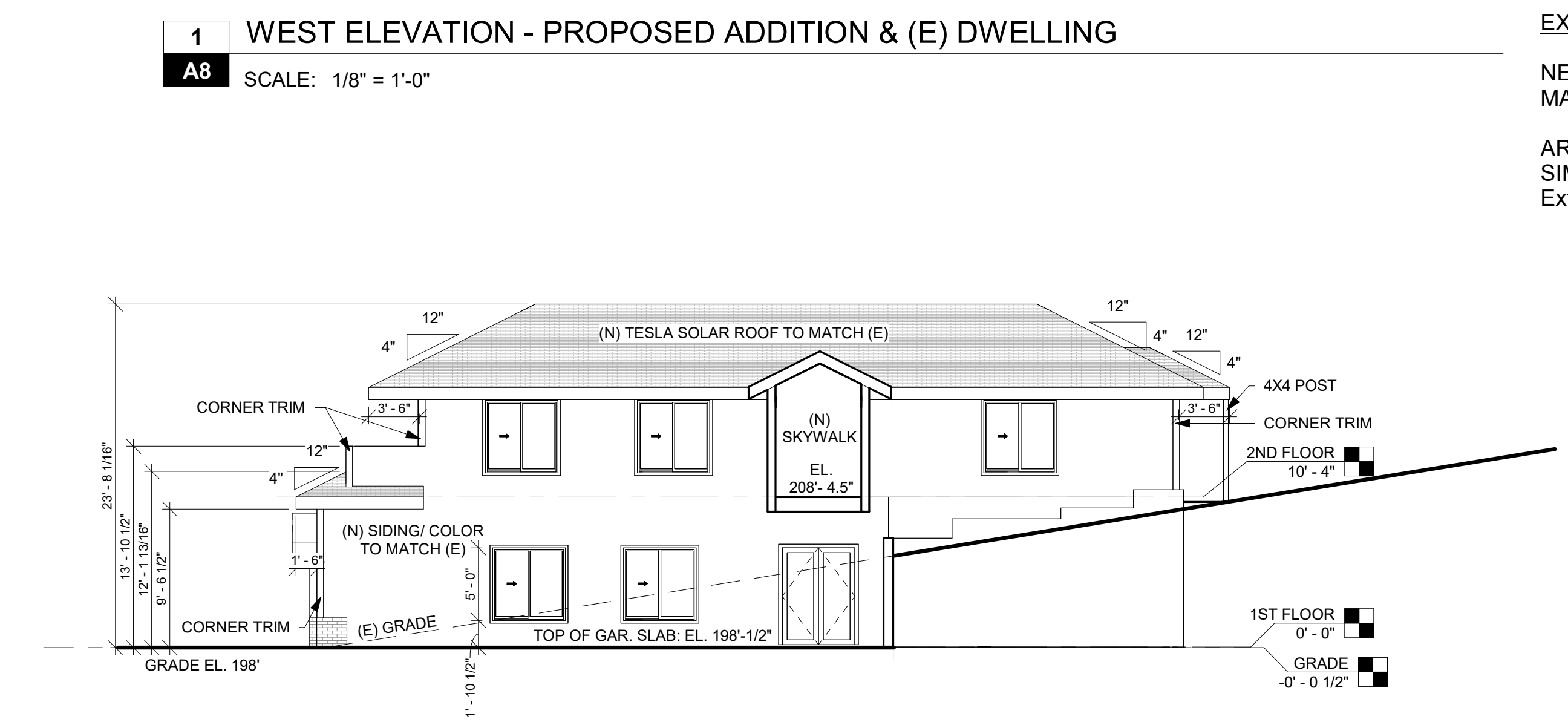


Created July 22nd, 2020

**EXTERIOR MATERIALS NOTES:**

NEW FIBER CEMENT SIDING & COLOR SHALL MATCH THE SAME SIDING/ TYPE OF EXISTING BUILDING.

ARCHITECTURAL CHARACTER & DETAILING SHALL BE SIMILAR TO THAT OF EXISTING BUILDING (i.e. Window Type, Exterior Window Trim, Eaves, Finish Materials, Color, Tesla Roofing, etc.).



**1** WEST ELEVATION - PROPOSED ADDITION & (E) DWELLING  
**A8** SCALE: 1/8" = 1'-0"

**3** SOUTH ELEVATION - PROPOSED ADDITION  
**A8** SCALE: 1/8" = 1'-0"

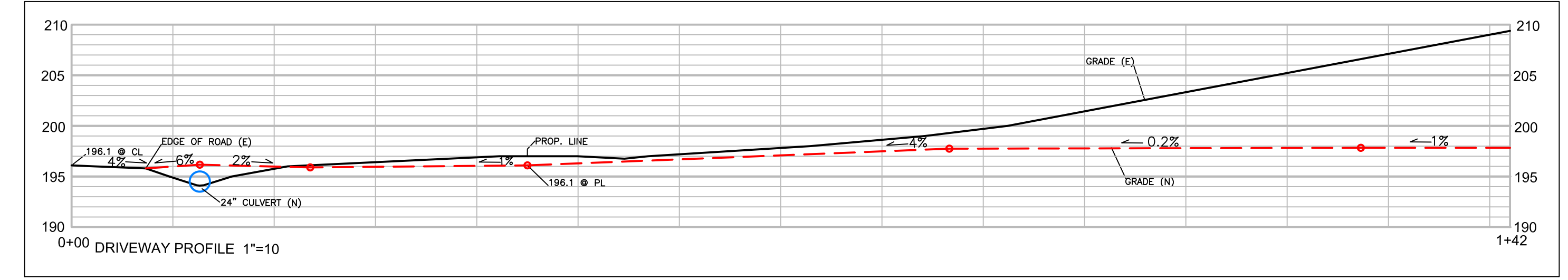
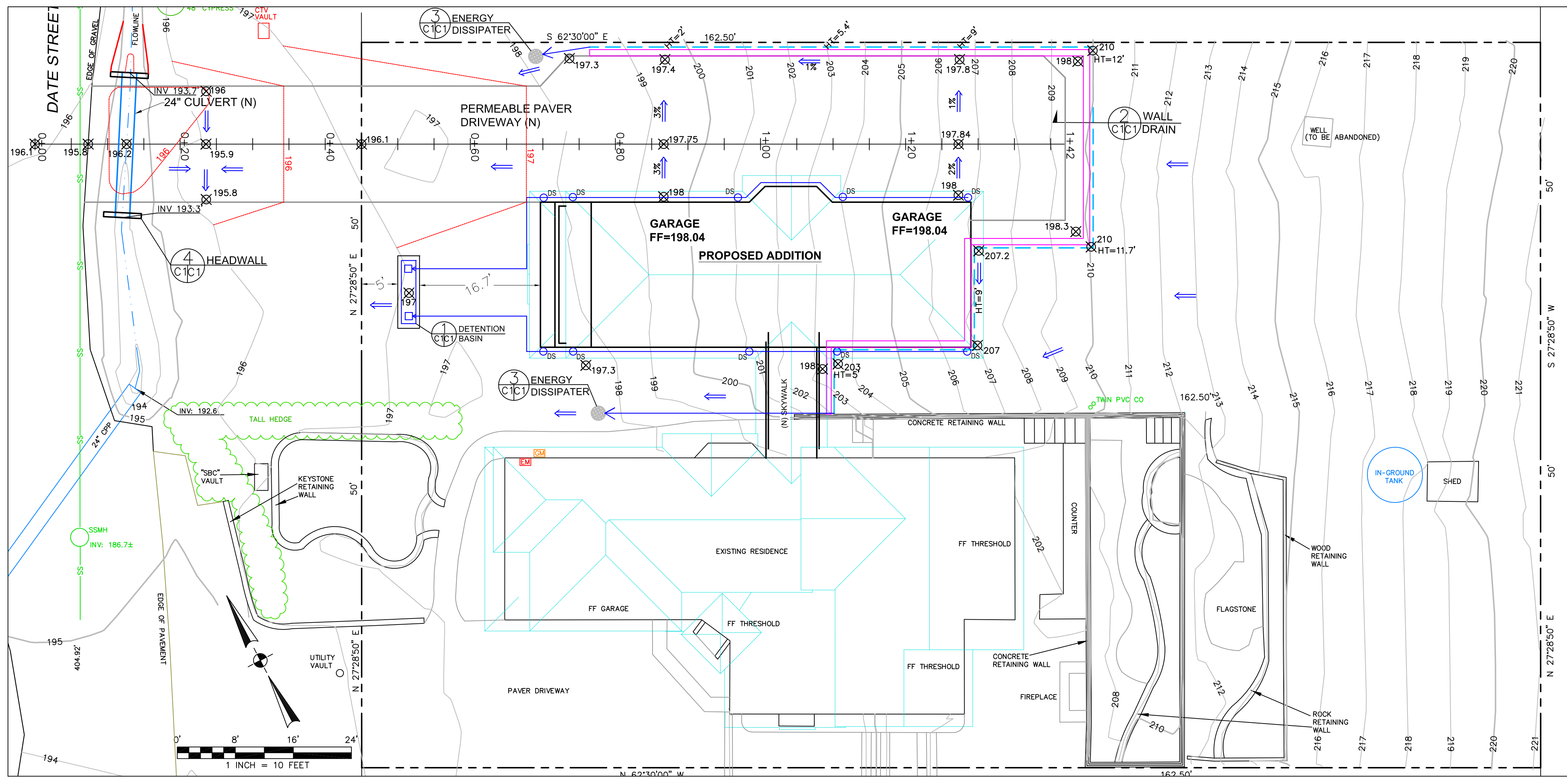












- LEGEND**
- EXISTING CONTOURS
  - PROPOSED CONTOURS
  - 198.3 PROPOSED SPOT ELEVATION
  - ENERGY DISSIPATER - PER DETAIL 3
  - DS DOWNSPOUT
  - 4" MIN SOLID DRAIN PIPE
  - 4" MIN PERFORATED DRAIN PIPE

**GENERAL NOTES**

- PLANS PREPARED AT THE REQUEST OF: BEN HARRISON, OWNER
- TOPOGRAPHY BY BGT SURVEYING, SURVEYED 10-15-20.
- THIS IS NOT A BOUNDARY SURVEY.
- ELEVATION DATUM NGVD 29.
- THE GEOTECHNICAL REPORT: **GEOTECHNICAL STUDY: HARRISON PROPERTY, DATE STREET MONTARA, APN 036-152-320**; DATE: PENDING, BY SIGMA PRIME GEOSCIENCES, INC. PROJECT NO. 20-123 SHALL BE RETAINED ON THE CONSTRUCTION SITE. THE GEOTECHNICAL ENGINEER OF RECORD IS SIGMA PRIME GEOSCIENCES, INC. ASSOCIATES, WITH THE CONTACT NUMBER (650)-728-3590. THE CONTRACTOR MUST SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 48 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD.
- STORMWATER MANAGEMENT CONSTRUCTION INSPECTIONS SHALL BE SCHEDULED FOR APPLICABLE DRAINAGE INSPECTIONS, WHICH INCLUDE SITE CLEARANCE AND EROSION CONTROL MEASURES INSTALLATION AS WELL AS INSPECTION OF MAJOR DRAINAGE CONTAINMENT, TREATMENT, AND CONVEYANCE DEVICES BEFORE BEING BURIED (INCLUDING REQUIRED MATERIAL LABELS, E.G. PIPES, SUB-GRADE MATERIALS, ETC.). PLEASE FOLLOW THE INSPECTION CARD INSTRUCTIONS CALL SIGMA PRIME AT 650-728-3590 TO SCHEDULE DRAINAGE INSPECTIONS ACCORDINGLY. THERE SHALL BE THREE INSPECTIONS: ONE FOR EROSION CONTROL INSTALLATION, ONE BEFORE DRAINAGE FACILITIES ARE BURIED, AND ONE FOR FINAL WALK AROUND.

**DRAINAGE NOTES**

- DRAINAGE INTENT: IT IS THE INTENT OF THE DRAINAGE SYSTEM TO CONVEY ROOF RUNOFF TO A SAFE LOCATION, AND TO MINIMIZE EXCESSIVE MOISTURE AROUND FOUNDATIONS. DIRECT SLOPES SUCH THAT STORMWATER WILL NOT BE DIVERTED ONTO ADJACENT PROPERTIES.
- ALL DOWNSPOUT DRAIN LINES SHALL LEAD TO DETENTION BASIN, AS SHOWN.
- ALL ROOF DRAINAGE PIPES SHALL BE 4" DIAMETER MINIMUM SOLID PIPE, SLOPED AT 1% MINIMUM.
- IT IS THE PROPERTY OWNER'S RESPONSIBILITY TO CHECK ON ALL STORMWATER FACILITIES SUCH AS ROOF GUTTERS, DOWNSPOUT LINES, AND THE DETENTION BASIN AND ENERGY DISSIPATORS TO BE SURE THAT THEY ARE CLEAR OF EXCESSIVE DEBRIS AND OPERATING EFFICIENTLY. THE FACILITIES SHALL BE CHECKED EVERY FALL AND PERIODICALLY DURING THE RAINY SEASON.

**GRADING NOTES**

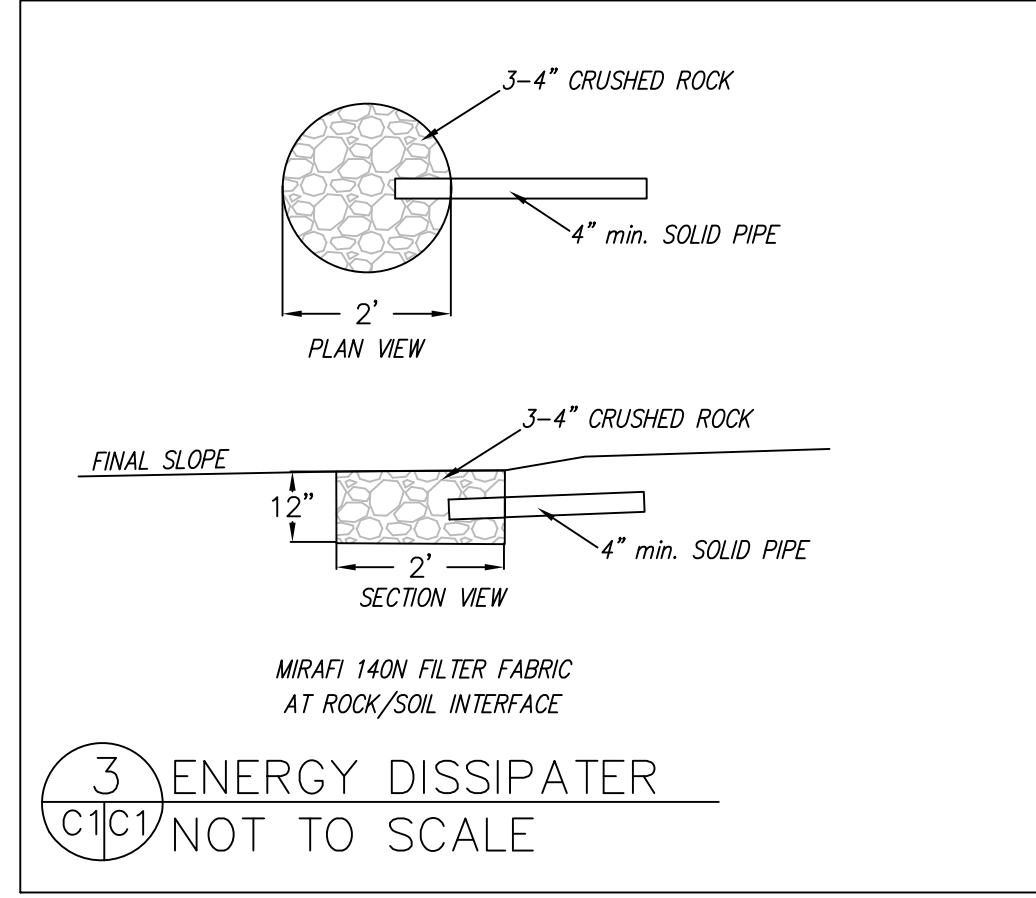
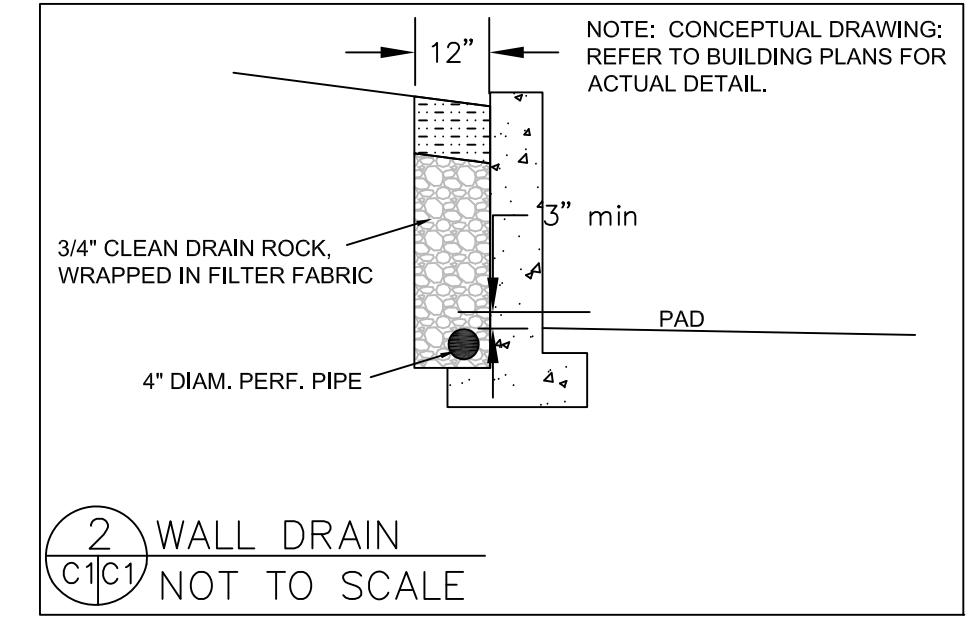
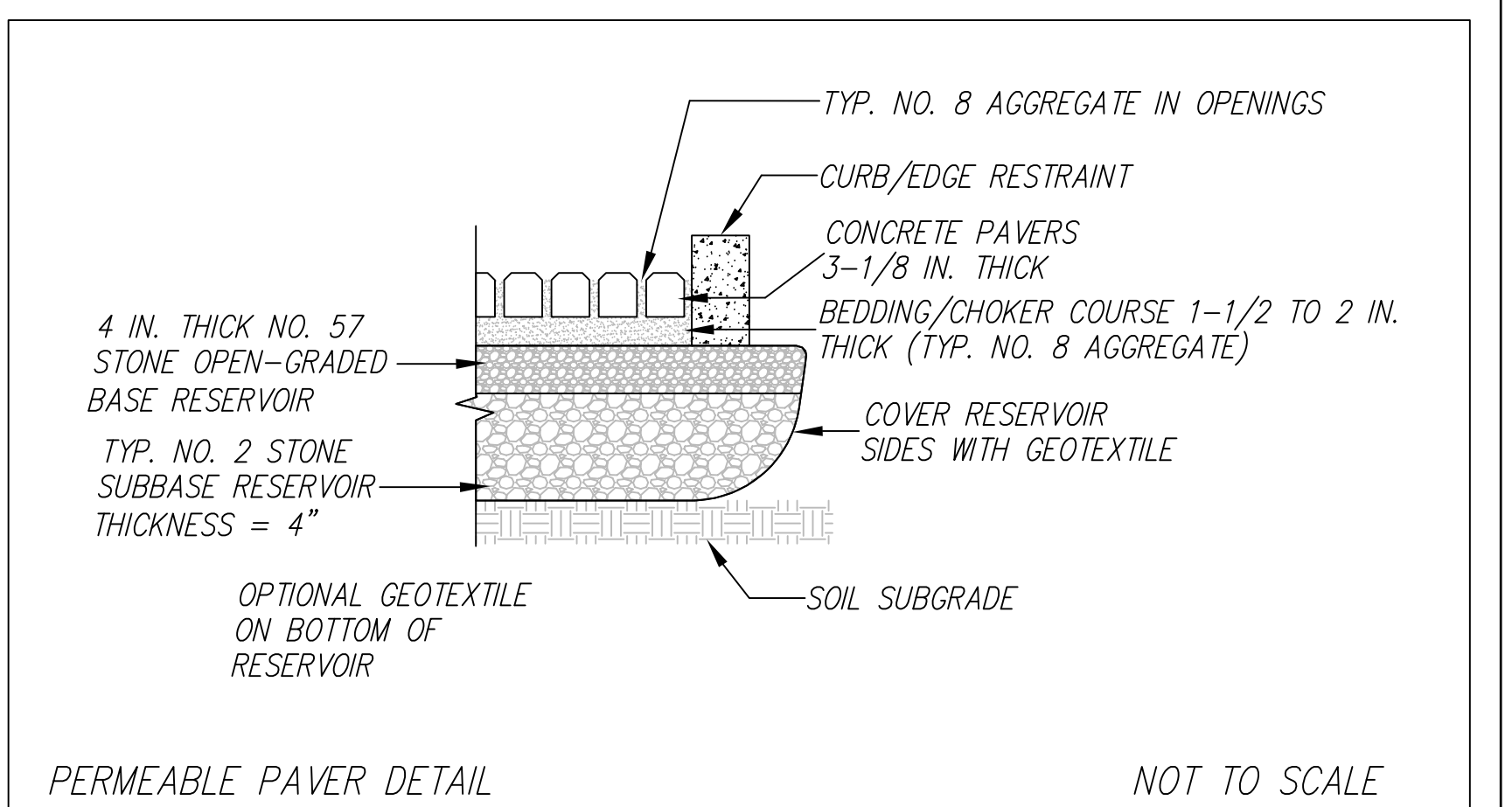
CUT VOLUME : 675 CY  
 FILL VOLUME: 0 CY

VOLUMES ABOVE ARE APPROXIMATE.

THE SUBGRADE BELOW ALL PAVED AREAS SHALL BE BASEROCK COMPACTED TO 95%.

ALL GRADING SHALL CONFORM TO LOCAL CODES AND ORDINANCES.

ALL TRENCHES UNDER PROPOSED PAVED AREAS OR CONCRETE SHALL BE BACKFILLED TO SUBGRADE ELEVATION WITH COMPACTED APPROVED GRANULAR MATERIALS. IF TRENCHES ARE IN PROPOSED LANDSCAPE AREAS, THEY SHALL BE BACKFILLED WITH COMPACTED APPROVED GRANULAR MATERIAL TO WITHIN ONE FOOT OF FINISHED GRADE, AND THEN FILLED WITH HAND TAMPED SOILS.

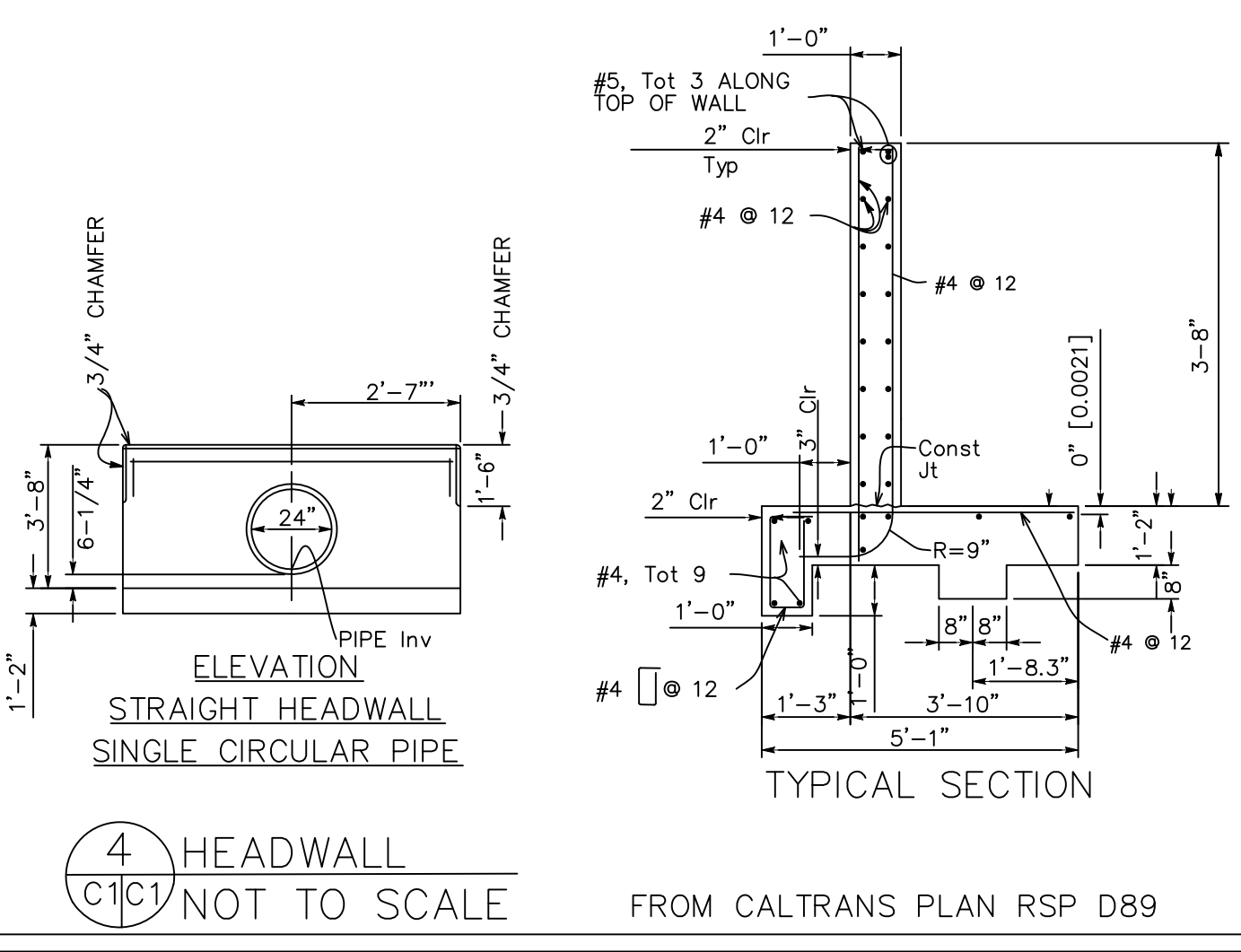
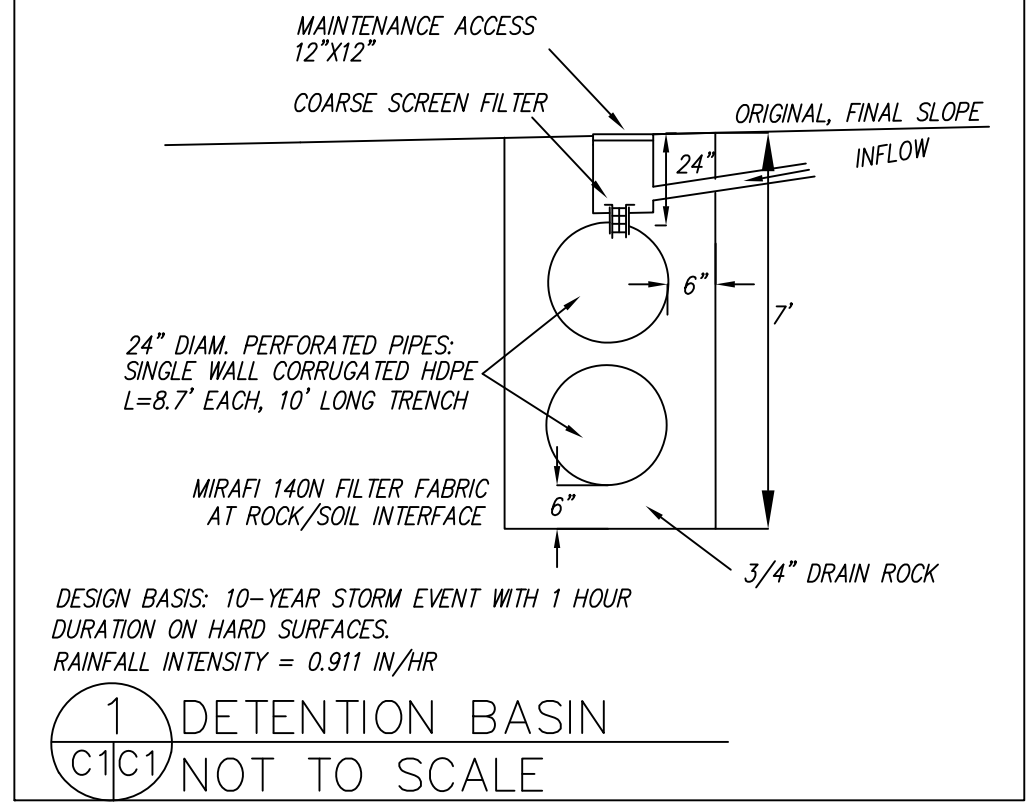


**SECTION AND DETAIL CONVENTION**

SECTION OR DETAIL IDENTIFICATION

REFERENCE SHEET No. FROM WHICH SECTION OR DETAIL IS TAKEN

REFERENCE SHEET No. ON WHICH SECTION OR DETAIL IS SHOWN



**Sigma Prime Geosciences, Inc.**

SIGMA PRIME GEOSCIENCES, INC.  
 332 PRINCETON AVENUE  
 HALF MOON BAY, CA 94019  
 (650) 728-3590  
 FAX 728-3593

DATE: 5-1-22  
 DRAWN BY: CMK  
 CHECKED BY: AZG  
 REV. DATE: \_\_\_\_\_  
 REV. DATE: \_\_\_\_\_  
 REV. DATE: \_\_\_\_\_

**GRADING AND DRAINAGE PLAN**

HARRISON PROPERTY  
 1043 DATE STREET  
 MONTARA  
 APN 036-152-320

**SHEET C-1**



**GENERAL EROSION AND SEDIMENT CONTROL NOTES**

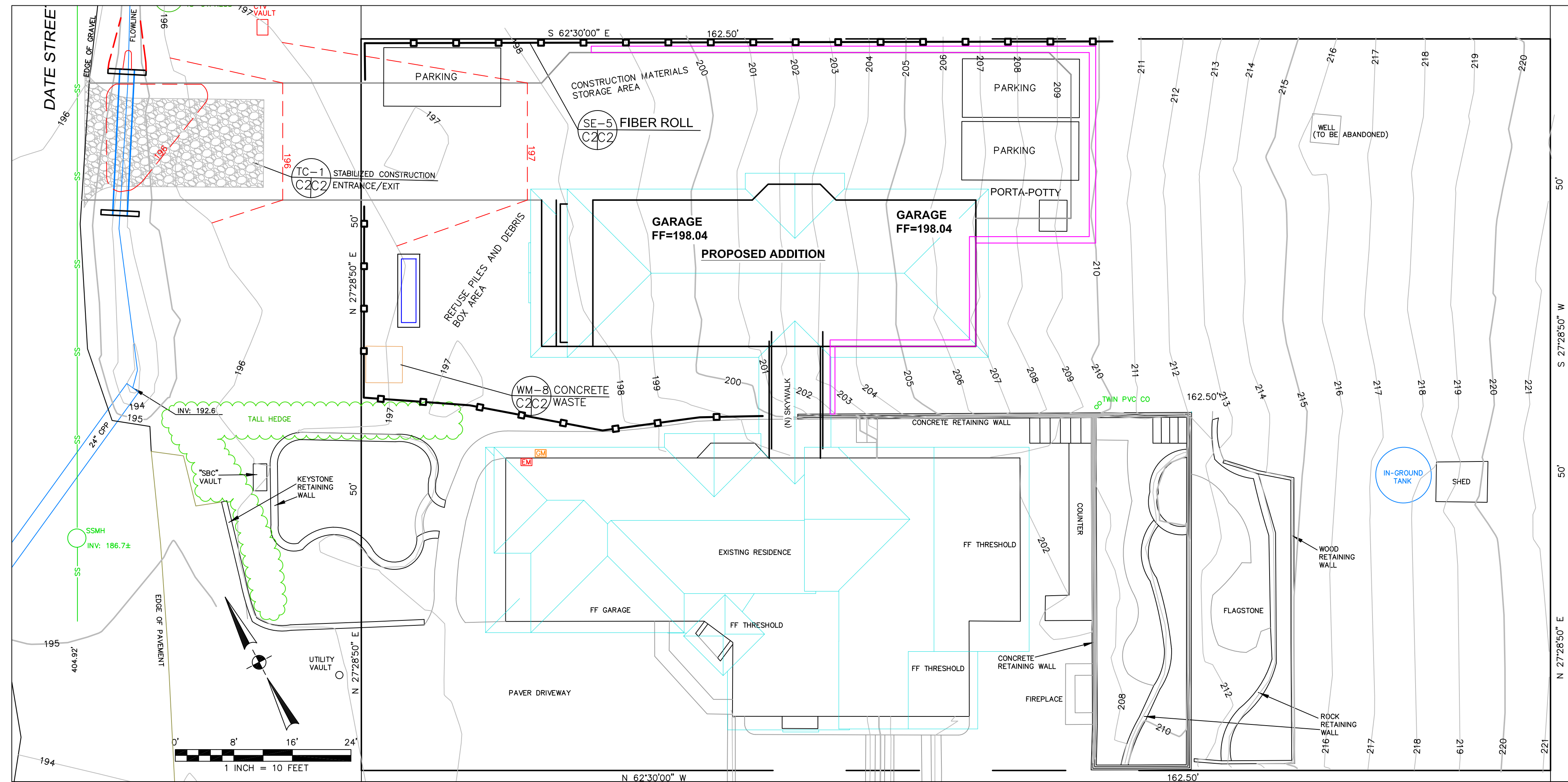
FIBER ROLL  
INSTALL AT LOCATIONS SHOWN.  
AFIX AS SHOWN IN DETAIL SE-5

- There will be no stockpiling of soil. All excavated soil will be hauled off-site as it is excavated.
- Perform clearing and earth-moving activities only during dry weather. Measures to ensure adequate erosion and sediment control shall be installed prior to earth-moving activities and construction.
- Erosion control materials to be on-site during off-season.
- Measures to ensure adequate erosion and sediment control are required year-round. Stabilize all denuded areas and maintain erosion control measures continuously between October 1 and April 30.
- Store, handle, and dispose of construction materials and wastes properly, so as to prevent their contact with stormwater.
- Control and prevent the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
- Avoid cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
- Limit and time applications of pesticides and fertilizers to prevent polluted runoff.
- Limit construction access routes to stabilized, designated access points
- Avoid tracking dirt or other materials off-site; clean off-site paved areas and sidewalks using dry sweeping methods.
- Train and provide instruction to all employees and subcontractors regarding the Watershed Protection Maintenance Standards and construction Best Management Practices.
- Placement of erosion materials is required on weekends and during rain events.
- The areas delineated on the plans for parking, grubbing, storage etc., shall not be enlarged or "run over."
- Dust control is required year-round.
- Erosion control materials shall be stored on-site.
- There are no trees or driplines on the site.

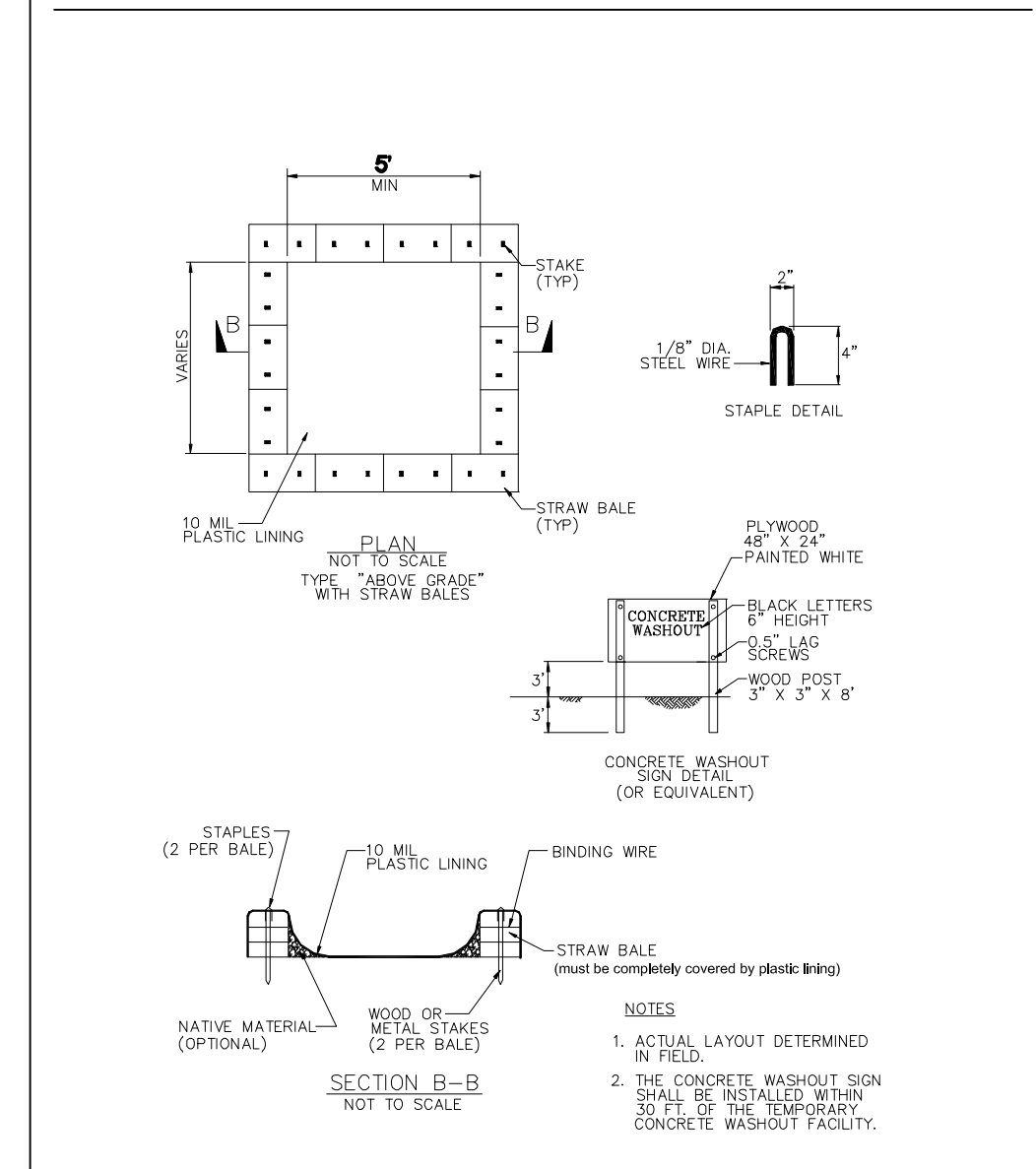
**EROSION CONTROL POINT OF CONTACT**

THIS PERSON WILL BE RESPONSIBLE FOR EROSION CONTROL AT THE SITE AND WILL BE THE COUNTY'S MAIN POINT OF CONTACT IF CORRECTIONS ARE REQUIRED.

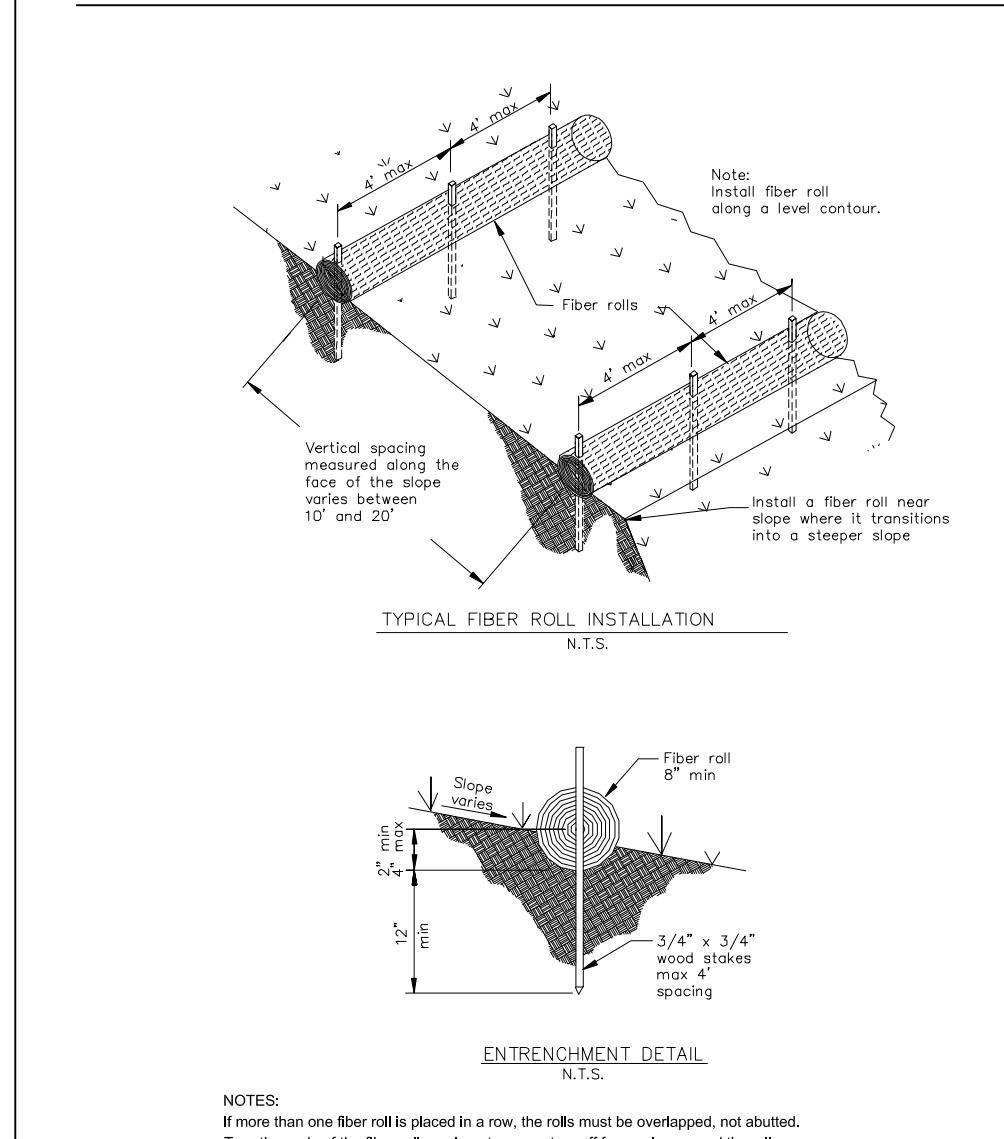
NAME: Charles Kissick  
TITLE/QUALIFICATION: Engineer  
PHONE: 650-728-3590  
E-MAIL: sigmaprm@gmail.com



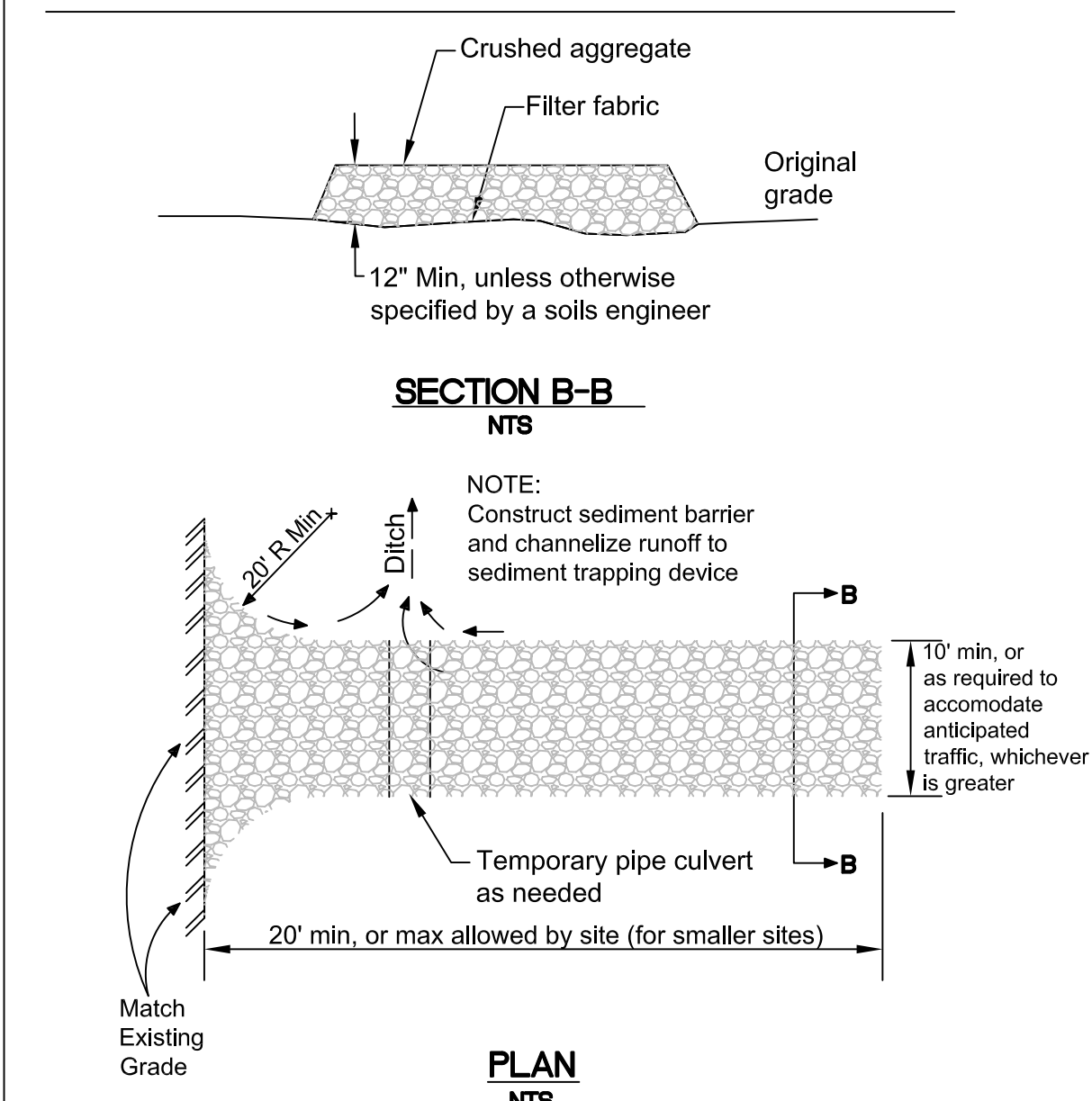
**CONCRETE WASTE MANAGEMENT WM-8**



**FIBER ROLLS SE-5**



**STABILIZED CONSTRUCTION ENTRANCE/EXIT TC-1**



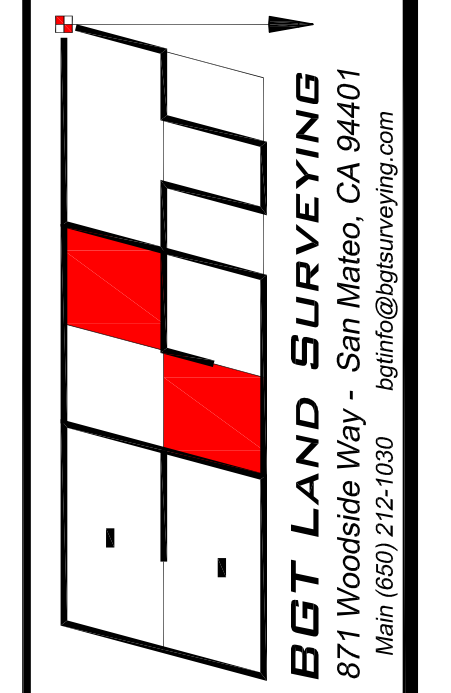
**Sigma Prime Geosciences, Inc.**  
SIGMA PRIME GEOSCIENCES, INC.  
332 PRINCETON AVENUE  
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FAX 728-3593

DATE: 5-1-22  
DRAWN BY: CMK  
CHECKED BY: AZG  
REV. DATE:  
REV. DATE:  
REV. DATE:

EROSION AND SEDIMENT CONTROL PLAN  
HARRISON PROPERTY  
1043 DATE STREET  
MONTARA  
APN 036-152-320

**SHEET C-2**





**BOUNDARY AND TOPOGRAPHIC SURVEY**  
 LOT 45-46, BLOCK 34, "AMENDED AND SUPPLEMENTAL MAP OF MONTARA" (BOOK 5 MAPS 35)  
**VACANT LOT, DATE STREET**  
 MONTARA, COUNTY OF SAN MATEO, CALIFORNIA

Assessor Parcel Number:  
036-152-310

Prepared For:  
BENJAMIN HARRISON  
1043 DATE STREET #370964  
MONTARA, CA 94037

Date: OCTOBER 2020  
 Scale: 1" = 8'  
 Contour Interval: 1'  
 Drawn by: LHL  
 Revisions:

**SU-1**

Job No. 20-130

**BASIS OF BEARINGS**

THE BEARING, SOUTH 62°30'00" EAST, OF THE CENTERLINE OF FRANKLIN STREET, AS SHOWN ON THAT CERTAIN PARCEL MAP NO. 1131, WHICH WAS FILED FOR RECORD IN VOLUME 82 OF PARCEL MAPS PAGE 72 ON MARCH 24, 2016, SAN MATEO COUNTY RECORDS, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

**BENCHMARK**

ELEVATIONS SHOWN HEREON ARE BASED UPON NGVD 29 ("MEAN SEA LEVEL") DATUM BASED UPON A GPS SURVEY, WHICH TIED INTO THE "TIDAL 5" BENCHMARK AT PRINCETON HARBOR. SITE BENCHMARK IS THE MACHINED CROSS SET ON CORNER OF WELL PAD SHOWN HEREON WITH AN ELEVATION OF 216.34 FEET.

**NOTES:**

BGT RELIED UPON A NORTH AMERICAN TITLE COMPANY PRELIMINARY TITLE REPORT, ORDER NO. 55915-20-00345, AS TITLE REFERENCE. NO EASEMENTS WERE REFERENCED WITHIN SAID REPORT.

UTILITIES SHOWN HEREON TAKEN FROM VISUAL SURFACE EVIDENCE AND SHOULD BE CONSIDERED AS APPROXIMATE ONLY. ACTUAL LOCATIONS OF UTILITIES MAY VARY. TRUE LOCATION OF UTILITIES CAN ONLY BE OBTAINED BY EXPOSING THE UTILITY.

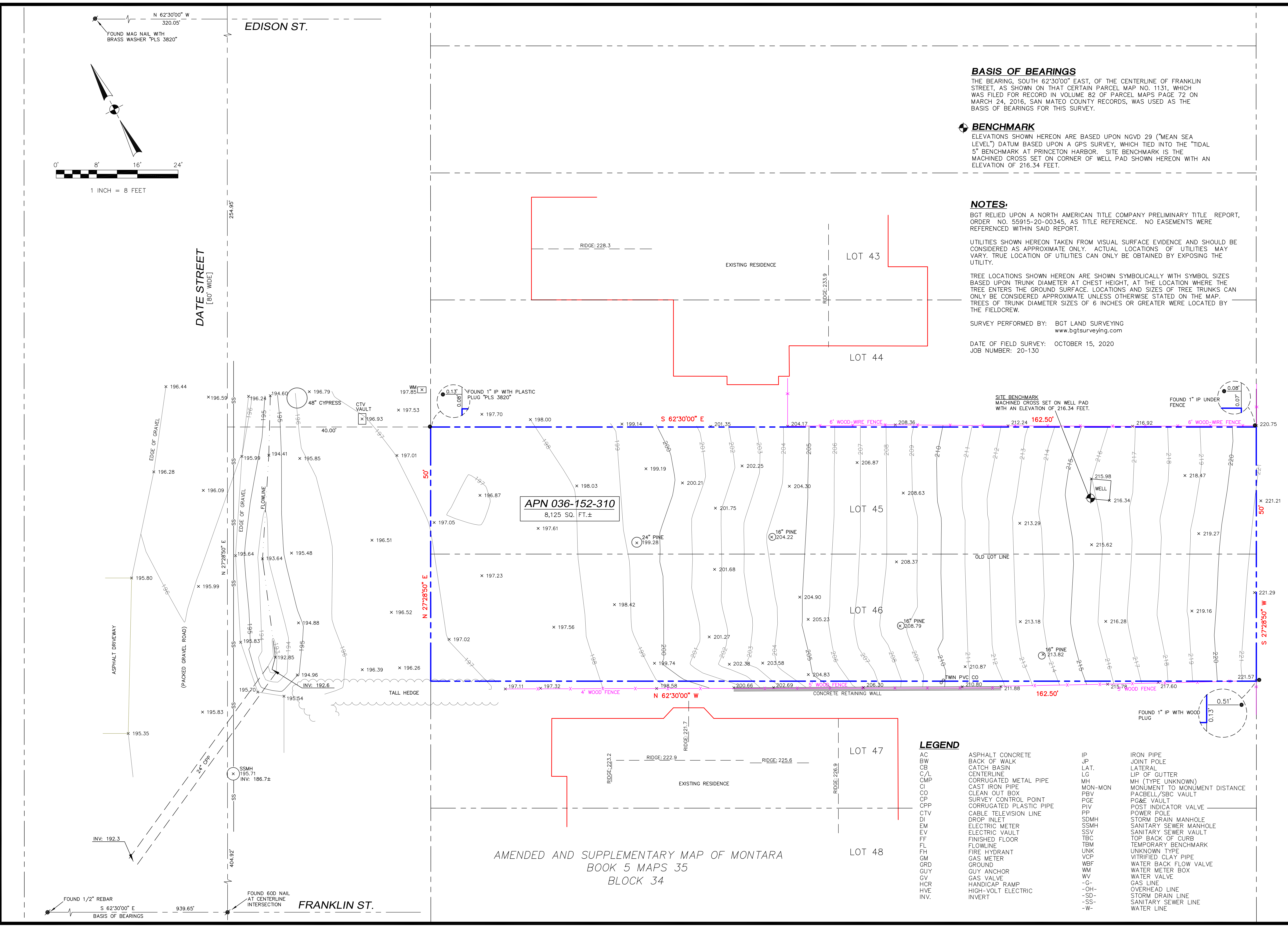
TREE LOCATIONS SHOWN HEREON ARE SHOWN SYMBOLICALLY WITH SYMBOL SIZES BASED UPON TRUNK DIAMETER AT CHEST HEIGHT, AT THE LOCATION WHERE THE TREE ENTERS THE GROUND SURFACE. LOCATIONS AND SIZES OF TREE TRUNKS CAN ONLY BE CONSIDERED APPROXIMATE UNLESS OTHERWISE STATED ON THE MAP. TREES OF TRUNK DIAMETER SIZES OF 6 INCHES OR GREATER WERE LOCATED BY THE FIELDCREW.

SURVEY PERFORMED BY: BGT LAND SURVEYING  
www.bgtsurveying.com

DATE OF FIELD SURVEY: OCTOBER 15, 2020  
JOB NUMBER: 20-130

**LEGEND**

AC	ASPHALT CONCRETE	IP	IRON PIPE
BW	BACK OF WALK	JP	JOINT POLE
CB	CATCH BASIN	LAT.	LATERAL
C/L	CENTERLINE	LG	LIP OF GUTTER
CMP	CORRUGATED METAL PIPE	MH	MH (TYPE UNKNOWN)
CI	CAST IRON PIPE	MON-MON	MONUMENT TO MONUMENT DISTANCE
CO	CLEAN OUT BOX	PBV	PACBELL/SBC VAULT
CP	SURVEY CONTROL POINT	PGE	POST INDICATOR VALVE
CPP	CORRUGATED PLASTIC PIPE	PIV	POWER VALVE
CTV	CABLE TELEVISION LINE	PP	POWER POLE
DI	DROP INLET	SDMH	STORM DRAIN MANHOLE
EM	ELECTRIC METER	SSMH	SANITARY SEWER MANHOLE
EV	ELECTRIC VAULT	SSV	SANITARY SEWER VAULT
FF	FINISHED FLOOR	TBC	TOP BACK OF CURB
FL	FLOWLINE	TBM	TEMPORARY BENCHMARK
FM	FIRE HYDRANT	UNK	UNKNOWN TYPE
GM	GAS METER	VCP	VITRIFIED CLAY PIPE
GRD	GROUND	WBF	WATER BACK FLOW VALVE
GUY	GUY ANCHOR	WM	WATER METER BOX
GV	GAS VALVE	WV	WATER VALVE
HCR	HANDICAP RAMP	-C-	GAS LINE
HVE	HIGH-VOLT ELECTRIC	-OH-	OVERHEAD LINE
INV.	INVERT	-SD-	STORM DRAIN LINE
		-SS-	SANITARY SEWER LINE
		-W-	WATER LINE



AMENDED AND SUPPLEMENTARY MAP OF MONTARA  
 BOOK 5 MAPS 35  
 BLOCK 34