## MAP



ILLUSTRATIONS ARE NOT INTENDED TO BE AN EXACT REPRESENTATION OF MATERIALS AND FINISHES

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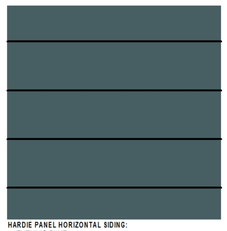
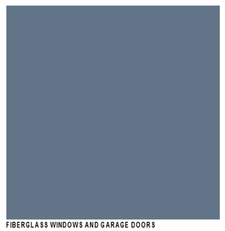
## ABBREVIATIONS

| | | | |
|---|---|---|---|
| (A) | ALTERED | MNFR | MANUFACTURER |
| A/C | AIR CONDITIONING | MAX | MAXIMUM |
| A.F.F | ABOVE FINISH FLOOR | MECH | MECHANICAL |
| | | MIN | MINIMUM |
| | | MISC | MISCELLANEOUS |
| BLDG | BUILDING | (N) | NEW |
| BLKG | BLOCKING | NO. | NUMBER |
| BM | BEAM | OBS | OBSCURE |
| CBC | CALIFORNIA BUILDING CODE | O.C. | ON CENTER |
| CLG | CEILING | PL | PLATE |
| CLR | CLEAR | PLYWD | PLYWOOD |
| CMU | CONCRETE MASONRY UNIT | P.T. | PRESSURE TREATED |
| CONC | CONCRETE | (R) | TO BE REMOVED / DEMOLISHED |
| DIA | DIAMETER | RAD | RADIUS |
| DIM | DIMENSION | REQ'D | REQUIRED |
| DN | DOWN | RM | ROOM |
| DS | DOWNSPOUT | RWD | REDWOOD |
| D.T.S. | DOUBLE TRIM STUD | SIM | SIMILAR |
| DW | DISHWASHER | SPEC | SPECIFICATION |
| (E) | EXISTING | SQ | SQUARE |
| EA | EACH | STD | STANDARD |
| EQ | EQUAL | S.T.S. | SINGLE TRIM STUD |
| EQUIP | EQUIPMENT | T&G | TONGUE & GROOVE |
| EXT | EXTERIOR | TEMP | TEMPERED GLASS |
| F.F.E. | FINISH FLOOR ELEVATION | THK | THICK |
| FIN. | FINISH | TYP | TYPICAL |
| FLR | FLOOR | U.N.O. | UNLESS OTHERWISE NOTED |
| FTG | FOOTING | | |
| GA. | GAUGE | VERT | VERTICAL |
| GALV | GALVANIZED | W | WIDTH |
| GLB | GLUE LAMINATED BEAM | W.H. | WATER HEATER |
| GWB | GYPSUM WALLBOARD | | |
| HDR | HEADER | | |
| HT | HEIGHT | | |
| INS | INSULATION | | |
| INT | INTERIOR | | |
| L | LENGTH | | |



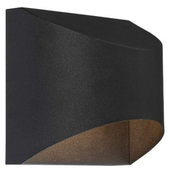
**HARDIE PANEL HORIZONTAL SIDING:**
EVENING BLUE
COLOR MATCH WINDOW/DOOR TRIM TO SIDING

**RIVER ROCK VENEER:**



**FIBERGLASS WINDOWS AND GARAGE DOORS**
NAVY BLUE

**STUCCO COLOR:**
OMEGA 242 MIST



**EXTERIOR LIGHTS:**
POSSINI EURO
MODEL: RATNNER 5-1/2" HIGH BLACK MODERN LED OUTDOOR WALL LIGHT
DARK SKY COMPLIANT

## PROJECT TEAM

### OWNER/BUILDER

MARINA FASTOVSKAYA
700 GEORGE ST.
MONTARA, CA 94037

## AREA CALCULATIONS

| AREA CALCULATIONS | |
|---|---|
| | AREA |
| DWELLING | 2,818.45 SQFT |
| 1ST FLOOR | 1,606.24 SQFT |
| 2ND FLOOR | 1,164.30 SQFT |
| GARAGE | 400 SQFT |
| FRONT PORCH | 120.27 SQFT |
| SITE | 6,254 SQFT |

| LOT COVERAGE | | | |
|---|---|---|---|
| ALLOWABLE COVERAGE (35%) | 2,188.9 SQFT | | |
| PROPOSED | 2,126.51 SQFT | | |
| PROPOSED 2,126.51 ft² 34.00% | < | ALLOWABLE 2,188.9 ft² 35% | |

| FLOOR AREA RATIO | | | |
|---|---|---|---|
| ALLOWABLE FAR (53%) | 3,314.62 SQFT | | |
| PROPOSED (51.46%) | 3,290.81 SQFT | | |
| PROPOSED 3,290.81 ft² 52.62% | < | ALLOWABLE 3,314.62 ft² 53% | |

## CODE ANALYSIS

AS AMENDED BY STATE OF CALIFORNIA AND LOCAL JURISDICTION

**CODE USED**
2022 CALIFORNIA BUILDING CODE
2022 CALIFORNIA RESIDENTIAL CODE
2022 CALIFORNIA MECHANICAL CODE
2022 CALIFORNIA PLUMBING CODE
2022 CALIFORNIA ELECTRICAL CODE
2022 CALIFORNIA ENERGY CODE
2022 CALIFORNIA FIRE CODE
2022 CALIFORNIA GREEN BUILDING STANDARDS CODE (CAL GREEN)
NFPA 13D

**CONSTRUCTION**
TYPE V-B

**OCCUPANCY GROUP**
R-3 SINGLE FAMILY HOME
R-1 PRIVATE GARAGE

**FIRE SPRINKLERS:**
RESIDENCE SHALL HAVE APPROVED FIRE SPRINKLER SYSTEM PER 2022 CRC § R313.2 & R313.3

## SCOPE OF WORK

NEW TWO STORY SINGLE FAMILY DWELLING WITH A DETACHED TWO CAR GARAGE.

## GENERAL NOTES

- RADIANT BARRIAR REQUIRED AT NEW ROOF SHEATHING AND ON ALL NEW VERTICAL SERFACES AND GABLE END WALLS IN THE ATTIC

## SHEET INDEX



REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
NO. C68621
Exp. 09-30-25
CIVIL
STATE OF CALIFORNIA
SEAL


SAN FRANCISCO DESIGN BUREAU
vkdesignersf@gmail.com
415 756-7038
ALEX MARTYNOVSKIY
ALEX.MARTYNOVSKIY@PROTONMAIL.COM


| △ | DATE | BY |
|---|---|---|
| | | |

NEW SINGLE FAMILY DWELLING
700 GEORGE ST.
MONTARA, CA 94037

APN
036-103-620

OWNER
MARINA FASTOVSKAYA

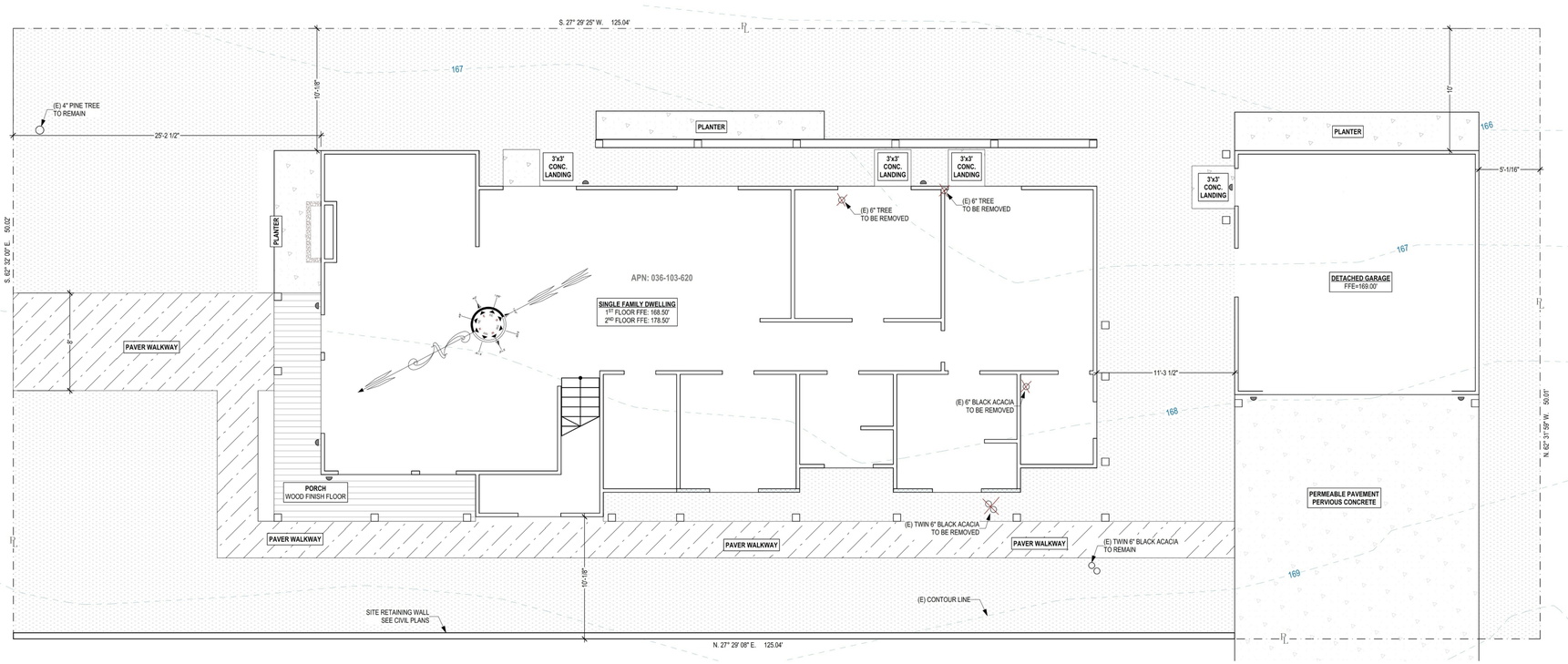
SHEET TITLE
COVER SHEET

DESIGNER
ALEX MARTYNOVSKIY
NAME
SIGNATURE DATE

PROJECT #: #Pln
DATE: 5/3/2022
DRAWN BY: #Contact Custom
SCALE: AS SHOWN

A1.0

Tuesday, February 13, 2024 2:13 PM




A SITE PLAN
SCALE: 3/16" = 1'-0"

0 4' 8' 12'

REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
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SEAL

SAN FRANCISCO DESIGN BUREAU
vkdesignersf@gmail.com
415 756-7038
ALEX MARTYNOVSKIY
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| # | DATE | BY |
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| | | |
| | | |
| | | |
| | | |

NEW SINGLE FAMILY DWELLING
700 GEORGE ST.
MONTARA, CA 94037

APN
036-103-620
OWNER
MARINA FASTOVSKAYA
SHEET TITLE
SITE PLAN

DESIGNER
ALEX MARTYNOVSKIY
NAME
SIGNATURE DATE

PROJECT #: #Pln
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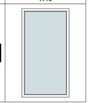
SCALE: AS SHOWN

A1.1

Tuesday, February 13, 2024 - 2:13 PM

| AREA (ROOM S) | | |
|---|---|---|
| ID | Zone Name | Area |
| Z01.0 | LIVING RM | 439.54 |
| Z02.0 | DINING | 106.98 |
| Z03.0 | KITCHEN | 168.98 |
| Z04.0 | HALLWAY | 126.83 |
| Z05.0 | OFFICE | 126.50 |
| Z06.0 | LAUNDRY | 88.98 |
| Z07.0 | BATHRM-1 | 56.54 |
| Z08.0 | M.BATH | 92.19 |
| Z09.0 | M.BEDRM-1 | 180.47 |
| Z09.1 | M. WIC | 43.94 |
| Z10.0 | PANTRY | 56.25 |
| Z09.2 | M. WIC | 43.94 |
| Z21.0 | HALLWAY | 79.00 |
| Z21.1 | STOR. | 8.00 |
| Z21.2 | STOR. | 15.33 |
| Z22.0 | BEDRM-2 | 107.81 |
| Z22.1 | BEDRM-3 | 28.33 |
| Z23.0 | BEDRM-3 | 121.23 |
| Z23.1 | WIC | 47.92 |
| Z24.0 | BATHRM-2 | 56.54 |
| Z26.0 | GUEST BEDRM-4 | 232.74 |
| Z26.1 | GUEST WIC | 43.94 |
| Z26.2 | GUEST BATH | 92.19 |
| ZN14 | ROOM | 146.34 |
| | | **2,718.88 ft²** |

**WINDOW PREVIEW**

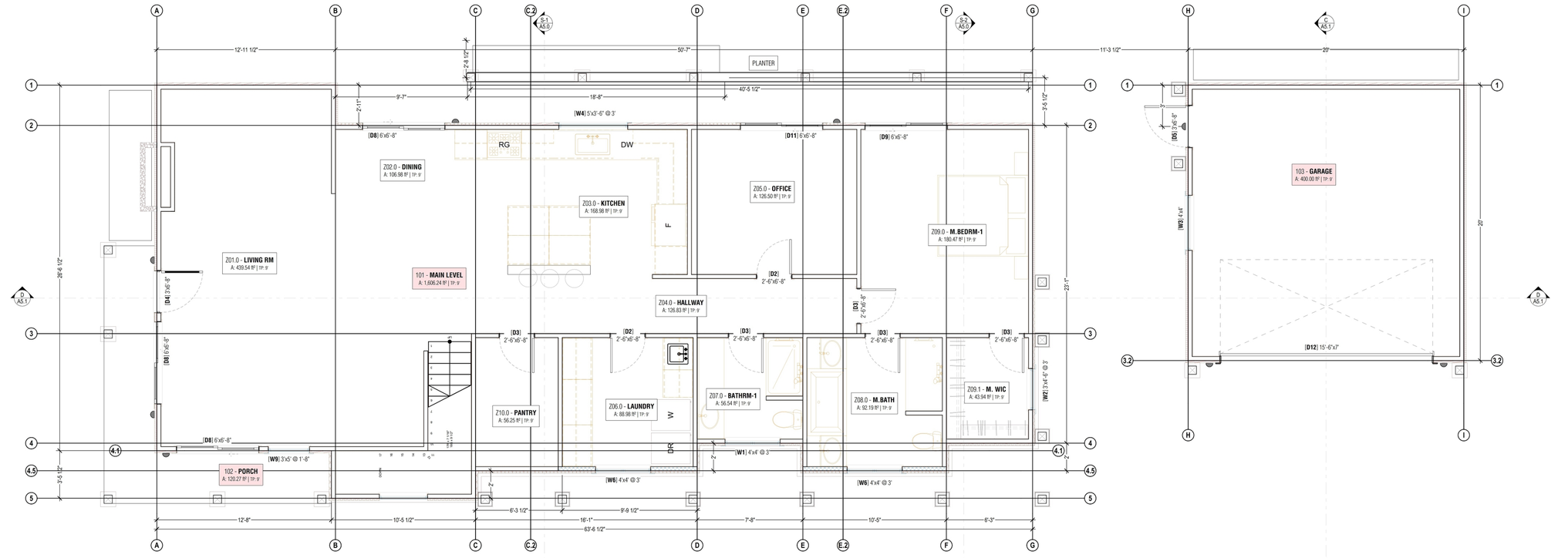
| ID | W1 | W2 | W3 | W4 | W5 | W6 | W7 | W8 | W9 | W10 | W11 | W12 | W13 |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| PREVIEW |  |  |  |  |  |  |  |  |  |  |  |  |  |

**WINDOW SCHEDULE**

| ID | QTY | Width | Height | Orientation | Type/ Egress | Material |
|---|---|---|---|---|---|---|
| W1 | 1 | 3'' | 4'' | BATHRM-1 | SL | FIBERGLASS |
| W2 | 1 | 3'' | 4''-6'' | M. WIC | SL | FIBERGLASS |
| W3 | 1 | 4'' | 4'' | GARAGE | SL | FIBERGLASS |
| W4 | 1 | 5'' | 3'-6'' | KITCHEN | SL | FIBERGLASS |
| W5 | 1 | 6'' | 4'' | R BDRM 2 | SL/Egress | FIBERGLASS |
| W6 | 1 | 6'' | 4'' | GUEST BATH | SL | FIBERGLASS |
| W6 | 2 | 4'' | 4'' | LAUNDRY | SL | FIBERGLASS |
| W7 | 3 | 2''-8'' | 4'' | FAMILY ROOM | FIXED | FIBERGLASS |
| W8 | 3 | 3'-6'' | 3'-6'' | STAIR TEMP. | FIXED | FIBERGLASS |
| W9 | 1 | 3'' | 5'' | LIVING ROOM | SL | FIBERGLASS |
| W10 | 1 | 6'' | 4'' | L BDRM 3 | SL/ Egress | FIBERGLASS |
| W11 | 1 | 6'' | 1''-6'' | GUEST BRM. | SL/ Egress | FIBERGLASS |
| W12 | 1 | 2''-8'' | 2''-8'' | BATH 2 OBSC. | SL | FIBERGLASS |
| W13 | 3 | 2''-8'' | 5'' | GUEST BRM. | SL/Egress | FIBERGLASS |

**DOOR SCHEDULE**

| ID | QTY | W | HT | SWING | Note | Material | Color |
|---|---|---|---|---|---|---|---|
| D1 | 1 | 2''-4'' | 6'-8'' | L | INTERIOR | WOOD | WHITE |
| D2 | 5 | 2''-6'' | 6'-8'' | L | INTERIOR | WOOD | WHITE |
| D3 | 9 | 2''-6'' | 6'-8'' | R | INTERIOR | WOOD | WHITE |
| D4 | 1 | 3' | 6'-8'' | R | ENTRY DOOR | WOOD | NAVY BLUE |
| D5 | 1 | 3' | 6'-8'' | L | INTERIOR | WOOD | WHITE |
| D6 | 1 | 3' | 6'-8'' | R | INTERIOR | WOOD | WHITE |
| D7 | 1 | 3' | 8' | R | INTERIOR | WOOD | WHITE |
| D8 | 3 | 6' | 6'-8'' | R | EXIT DOOR | FIBERGLASS | NAVY BLUE |
| D9 | 1 | 6' | 6'-8'' | L | EXIT DOOR | FIBERGLASS | NAVY BLUE |
| D10 | 1 | 6' | 6'-8'' | | INTERIOR | WOOD | WHITE |
| D11 | 1 | 6' | 6'-8'' | R | EXIT DOOR | FIBERGLASS | NAVY BLUE |
| D12 | 1 | 15'-6'' | 7' | L | INTERIOR | WOOD | WHITE |




# A PROPOSED 1st FLOOR PLAN

SCALE: 1/4" = 1'-0"

0 2' 4' 8'


ALEX MARTYNOVSKIY
ALEX.MARTYNOVSKIY@PROTONMAIL.COM


| 1 | DATE | BY |
|---|---|---|
| | | |

NEW SINGLE FAMILY DWELLING
700 GEORGE ST.
MONTARA, CA 94037

APN
036-103-620
OWNER
MARINA FASTOVSKAYA

SHEET TITLE
PROPOSED FLOOR PLAN

DESIGNER
ALEX MARTYNOVSKIY
NAME
SIGNATURE DATE

PROJECT #: #Pln
DATE: 5/3/2022
DRAWN BY: #Contact Custom
SCALE: AS SHOWN

**A2.0**

Tuesday, February 13, 2024 2:19 PM

| AREA (ROOM S) | | |
|---|---|---|
| ID | Zone Name | Area |
| Z01.0 | LIVING RM | 439.54 |
| Z02.0 | DINING | 106.98 |
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| Z09.1 | M. WIC | 43.94 |
| Z10.0 | PANTRY | 56.25 |
| Z20.0 | FAMILY-RM | 252.31 |
| Z21.0 | HALLWAY | 79.00 |
| Z21.1 | STOR. | 8.00 |
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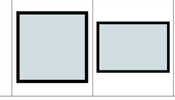
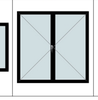
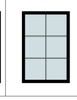
| ZN14 | ROOM | 146.34 |
| | | **2,718.88 ft²** |

**WINDOW PREVIEW**

| ID | W1 | W2 | W3 | W4 | W5 | W6 | W7 | W8 | W9 | W10 | W11 | W12 | W13 |
|---|---|---|---|---|---|---|---|---|---|---|---|---|---|
| PREVIEW |  |  |  |  |  |  |  |  |  |  |  |  |  |

**WINDOW SCHEDULE**

| ID | QTY | Width | Height | Orientation | Type/ Egress | Material |
|---|---|---|---|---|---|---|
| W1 | 1 | 3' | 4' | BATHRM-1 | SL | FIBERGLASS |
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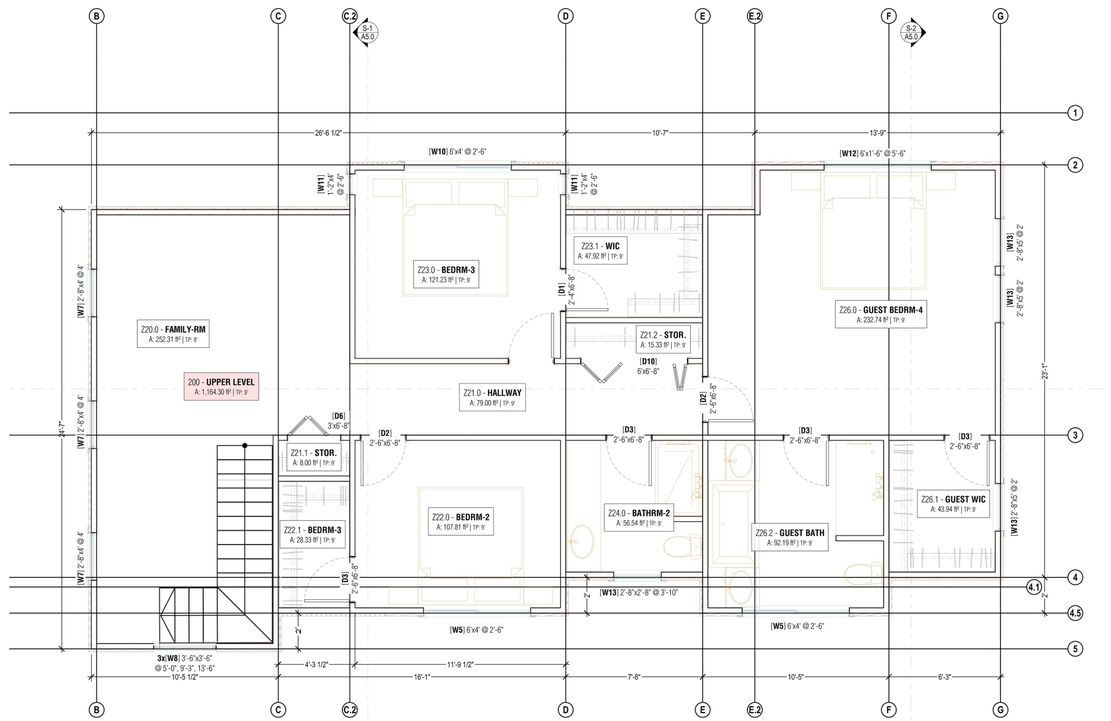
| W4 | 1 | 5' | 3'-6'' | KITCHEN | SL | FIBERGLASS |
| W5 | 1 | 6' | 4' | R BDRM 2 | SL/Egress | FIBERGLASS |
| W5 | 1 | 6' | 4' | GUEST BATH | SL | FIBERGLASS |
| W6 | 2 | 4' | 4' | LAUNDRY | SL | FIBERGLASS |
| W7 | 3 | 2'-8'' | 4' | FAMILY ROOM | FIXED | FIBERGLASS |
| W8 | 3 | 3'-6'' | 3'-6'' | STAIR TEMP. | FIXED | FIBERGLASS |
| W9 | 1 | 3' | 5' | LIVING ROOM | SL | FIBERGLASS |
| W10 | 1 | 6' | 4' | L BDRM 3 | SL/ Egress | FIBERGLASS |
| W11 | 1 | 6' | 1'-6'' | GUEST BRM. | SL/ Egress | FIBERGLASS |
| W12 | 1 | 2'-8'' | 2'-8'' | BATH 2 OBSC. | SL | FIBERGLASS |
| W13 | 3 | 2'-8'' | 5' | GUEST BRM. | SL/Egress | FIBERGLASS |

**DOOR SCHEDULE**

| ID | QTY | W | HT | SWING | Note | Material | Color |
|---|---|---|---|---|---|---|---|
| D1 | 1 | 2''-4'' | 6'-8'' | L | INTERIOR | WOOD | WHITE |
| D2 | 5 | 2'-6'' | 6'-8'' | L | INTERIOR | WOOD | WHITE |
| D3 | 9 | 2'-6'' | 6'-8'' | R | INTERIOR | WOOD | WHITE |
| D4 | 1 | 3' | 6'-8'' | R | ENTRY DOOR | WOOD | NAVY BLUE |
| D5 | 1 | 3' | 6'-8'' | L | INTERIOR | WOOD | WHITE |
| D6 | 1 | 3' | 6'-8'' | R | INTERIOR | WOOD | WHITE |
| D7 | 1 | 3' | 8' | R | INTERIOR | WOOD | WHITE |
| D8 | 3 | 6' | 6'-8'' | R | EXIT DOOR | FIBERGLASS | NAVY BLUE |
| D9 | 1 | 6' | 6'-8'' | L | EXIT DOOR | FIBERGLASS | NAVY BLUE |
| D10 | 1 | 6' | 6'-8'' | | INTERIOR | WOOD | WHITE |
| D11 | 1 | 6' | 6'-8'' | R | EXIT DOOR | FIBERGLASS | NAVY BLUE |
| D12 | 1 | 15'-6'' | 7' | L | INTERIOR | WOOD | WHITE |




# A PROPOSED 2nd FLOOR PLAN

SCALE: 1/4" = 1'-0"

0 2' 4' 8'


ALEX MARTYNOVSKIY

ALEX.MARTYNOVSKIY@PROTONMAIL.COM


| Δ | DATE | BY |
|---|---|---|
| | | |

NEW SINGLE FAMILY DWELLING

700 GEORGE ST.
MONTARA, CA 94037

APN
036-103-620

OWNER
MARINA FASTOVSKAYA

SHEET TITLE
PROPOSED UPPER FLOOR PLAN

DESIGNER
ALEX MARTYNOVSKIY
NAME
SIGNATURE DATE

PROJECT #: #Pln

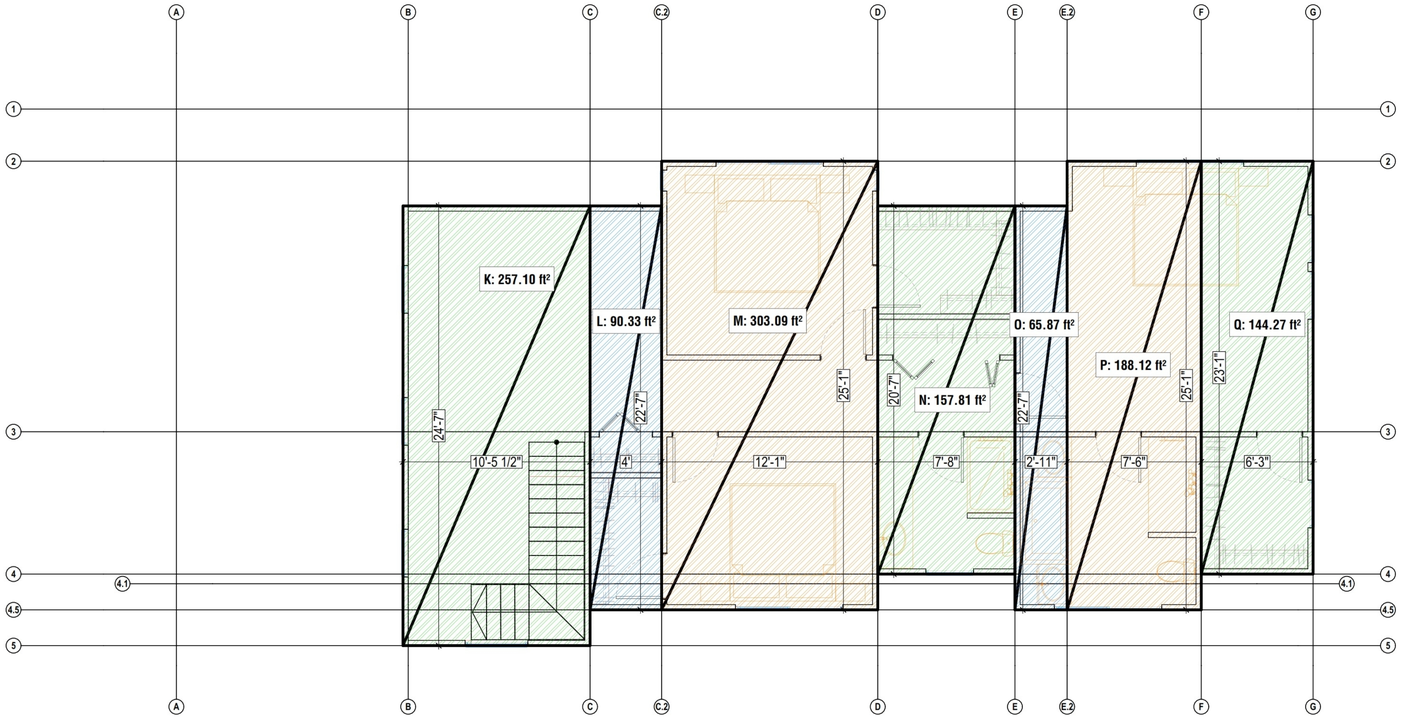
DATE: 5/3/2022

DRAWN BY: #Contact Custom

SCALE: AS SHOWN

**A2.1**

Tuesday, February 13, 2024 2:19 PM




B SECONED FLOOR AREA CALC

SCALE: 1/4" = 1'-0"

| AREA CALC | |
|---|---|
| ID | AREA (ft²) |
| A | 343.94 |
| B | 240.19 |
| C | 403.42 |
| D | 176.97 |
| E | 261.28 |
| F | 144.27 |
| G | 36.17 |
| G | 36.17 |
| I1 | 71.72 |
| I2 | 48.56 |
| K | 257.10 |
| L | 90.33 |
| M | 303.09 |
| N | 157.81 |
| O | 65.87 |
| P | 188.12 |
| Q | 144.27 |

| AREA CALCULATIONS | |
|---|---|
| | AREA |
| DWELLING | 2,818.45 SQFT |
| 1ST FLOOR | 1,606.24 SQFT |
| 2ND FLOOR | 1,164.30 SQFT |
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| LOT COVERAGE | | |
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| FLOOR AREA RATIO | | |
|---|---|---|
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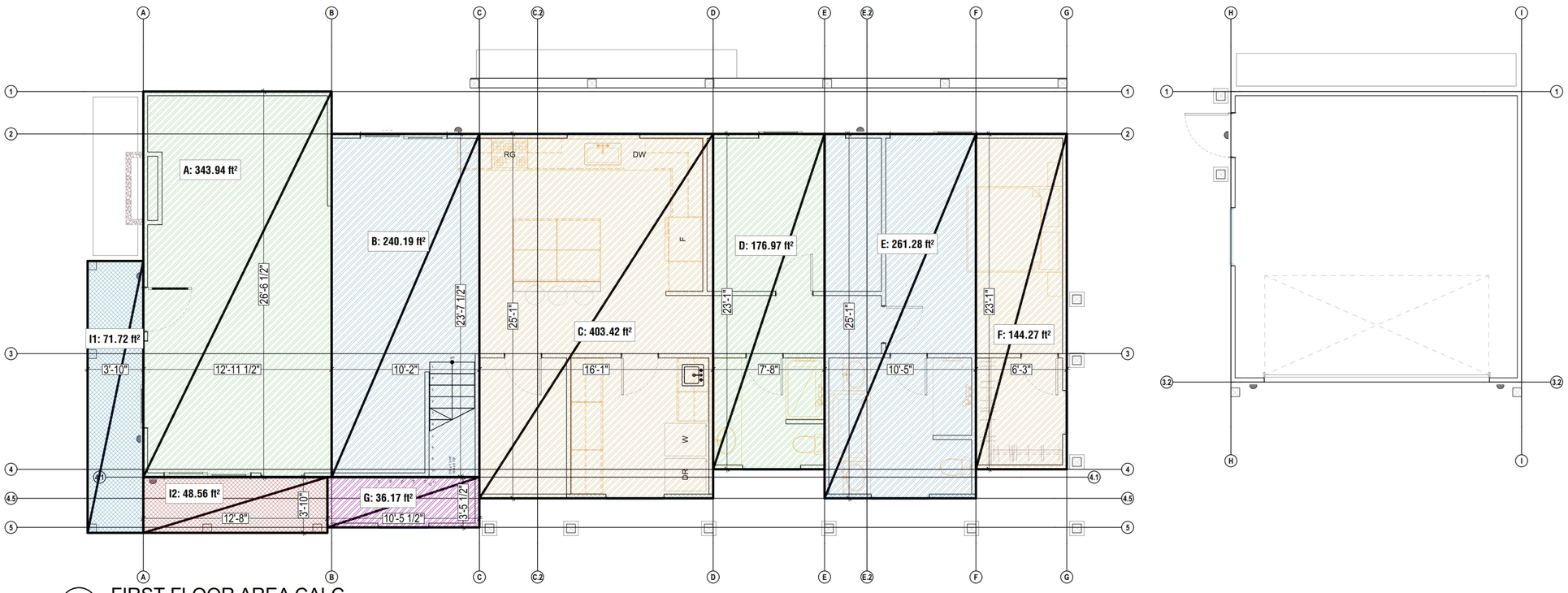


A FIRST FLOOR AREA CALC

SCALE: 1/4" = 1'-0"


REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLETNER
NO. C68621
Exp. 09-30-25
CIVIL
STATE OF CALIFORNIA

ALEX MARTYNOVSKIY
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| # | DATE | BY |
|---|---|---|
| | | |

NEW SINGLE FAMILY DWELLING
700 GEORGE ST.
MONTARA, CA 94037

APN
036-103-620
OWNER
MARINA FASTOVSKAYA

SHEET TITLE
PROPOSED AREA CALCULATION

DESIGNER
ALEX MARTYNOVSKIY
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SIGNATURE DATE

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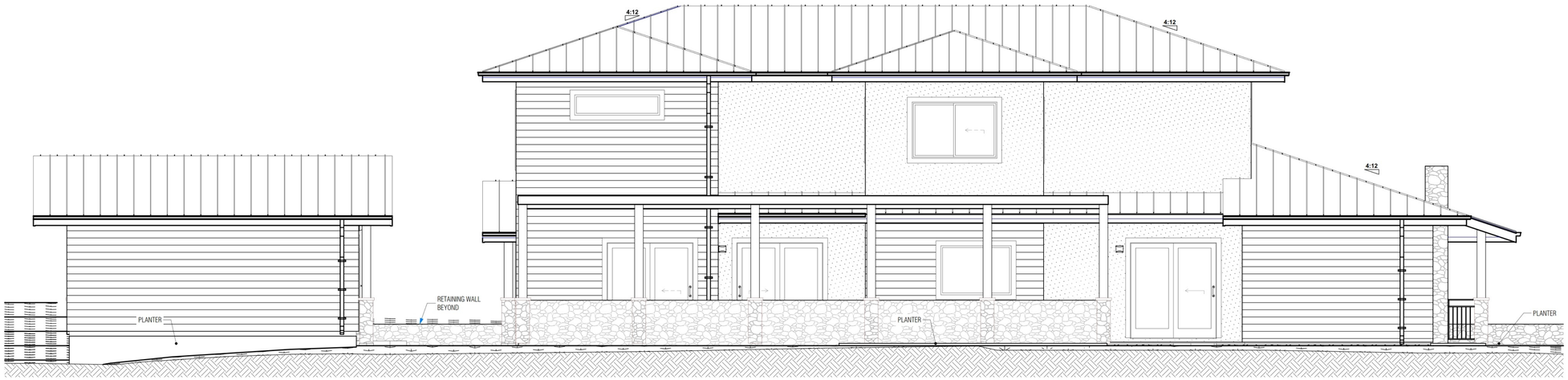
SCALE: AS SHOWN

A2.2

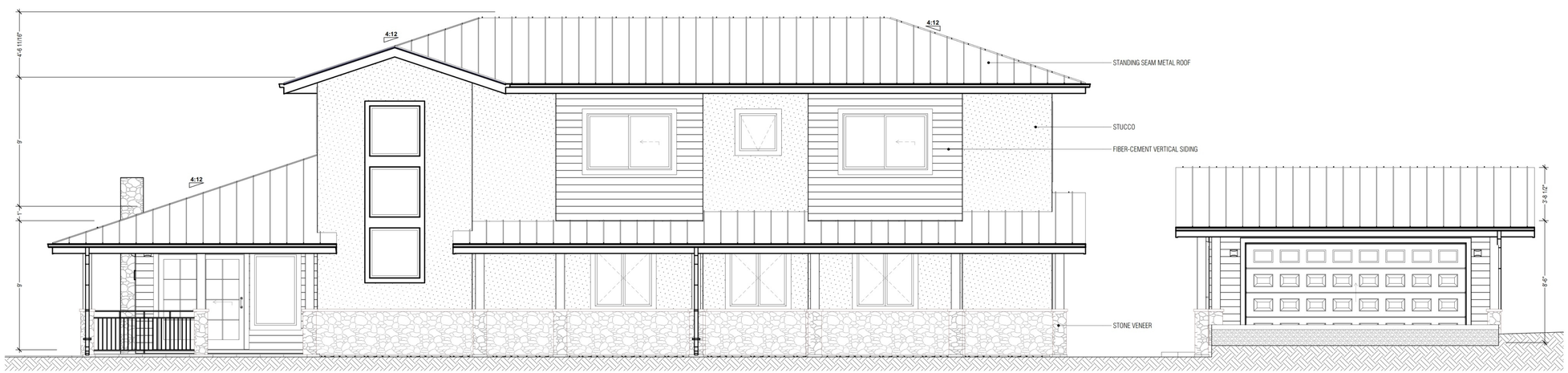
Updated: Monday 13, 2024 - 2:51 PM




## D PROPOSED SOUTH-EAST ELEVATION (LEFT)

SCALE: 1/4" = 1'-0"

0 2' 4' 8'




## E PROPOSED NORTH-WEST ELEVATION (RIGHT)

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

REGISTERED PROFESSIONAL ENGINEER
IGOR B. KLETNER
NO. C68621
Exp. 09-30-25
CIVIL
STATE OF CALIFORNIA

SAN FRANCISCO DESIGN BUREAU
vkdesignersf@gmail.com
415 756-7038
ALEX MARTYNOVSKIY
ALEX.MARTYNOVSKIY@PROTONMAIL.COM

| # | DATE | BY |
|---|---|---|
| | | |

NEW SINGLE FAMILY DWELLING
700 GEORGE ST.
MONTARA, CA 94037

APN
036-103-620

OWNER
MARINA FASTOVSKAYA

SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS

DESIGNER
ALEX MARTYNOVSKIY
NAME
SIGNATURE DATE

PROJECT #: #Pln
DATE: 5/3/2022
DRAWN BY: #Contact Custom
SCALE: AS SHOWN

A3.0

Architectural D (24 x 36 in) - 2:33 PM

B PROPOSED NORTH-EAST ELEVATION @ GARAGE (FRONT)
SCALE: 1/4" = 1'-0"


A PROPOSED NORTH-EAST ELEVATION (FRONT)
SCALE: 1/4" = 1'-0"

D PROPOSED SOUTH-WEST ELEVATION (BACK)
SCALE: 1/4" = 1'-0"


C PROPOSED SOUTH-WEST ELEVATION @ GARAGE (BACK)
SCALE: 1/4" = 1'-0"

REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
NO. C68621
Exp. 09-30-25
CIVIL
STATE OF CALIFORNIA

SAN FRANCISCO DESIGN BUREAU
vkdesignersf@gmail.com
415 756-7038
ALEX MARTYNOVSKIY
ALEX.MARTYNOVSKIY@PROTONMAIL.COM

| # | DATE | BY |
|---|---|---|
| | | |

NEW SINGLE FAMILY DWELLING
700 GEORGE ST.
MONTARA, CA 94037

APN
036-103-620
OWNER
MARINA FASTOVSKAYA

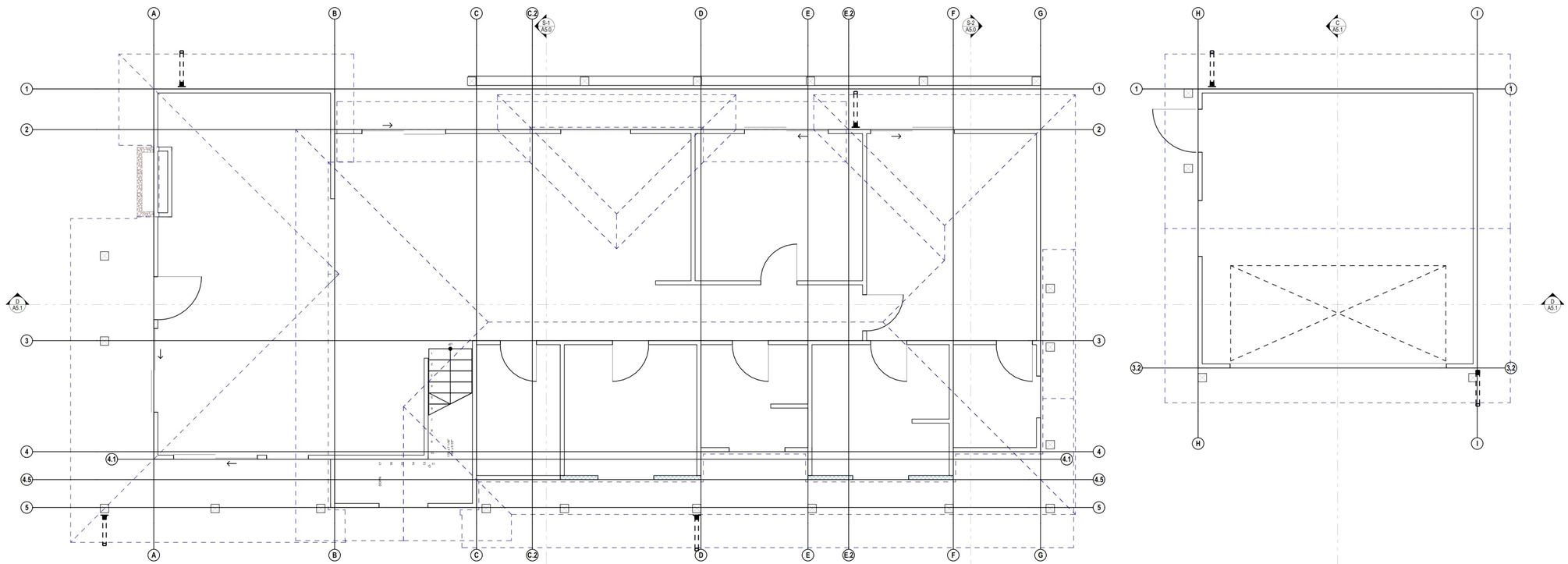
SHEET TITLE
PROPOSED EXTERIOR ELEVATIONS

DESIGNER
ALEX MARTYNOVSKIY
NAME
SIGNATURE DATE

PROJECT #: #Pln
DATE: 5/3/2022
DRAWN BY: #Contact Custom
SCALE: AS SHOWN

A3.1

Monday, February 13, 2023 2:51 PM




# A ROOF PLAN

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
NO. C68621
Exp. 09-30-25
CIVIL
STATE OF CALIFORNIA


ALEX MARTYNOVSKIY
ALEX.MARTYNOVSKIY@PROTONMAIL.COM


| # | DATE | BY |
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| | | |
| | | |

NEW SINGLE FAMILY DWELLING
700 GEORGE ST.
MONTARA, CA 94037

APN
036-103-620

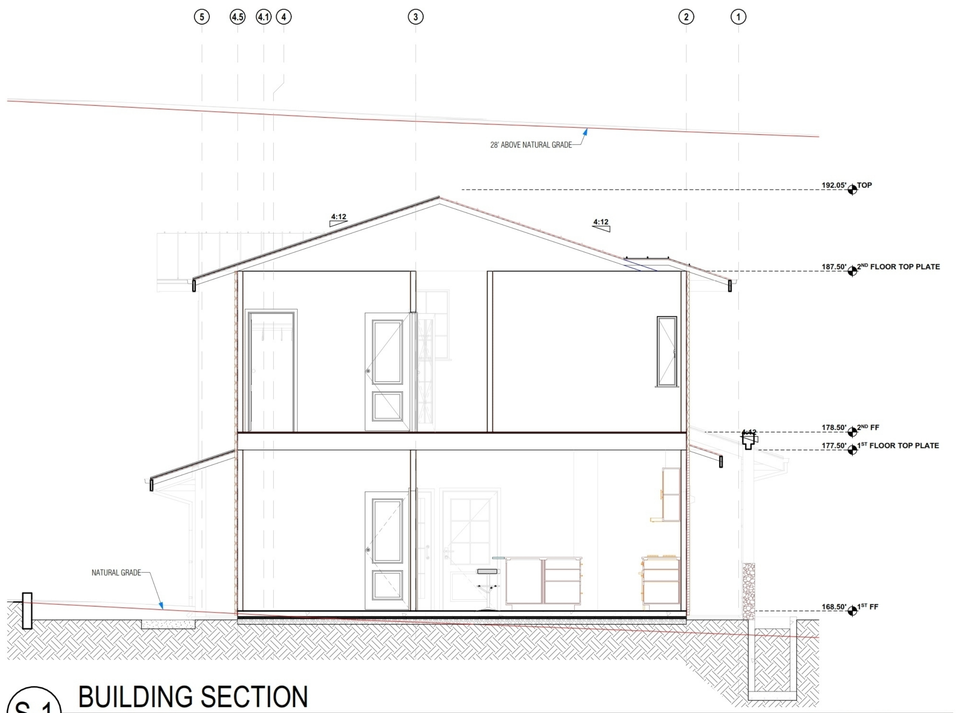
OWNER
MARINA FASTOVSKAYA

SHEET TITLE
ROOF PLAN

DESIGNER
ALEX MARTYNOVSKIY
NAME
SIGNATURE DATE

PROJECT #: #Pln
DATE: 5/3/2022
DRAWN BY: #Contact Custom
SCALE: AS SHOWN

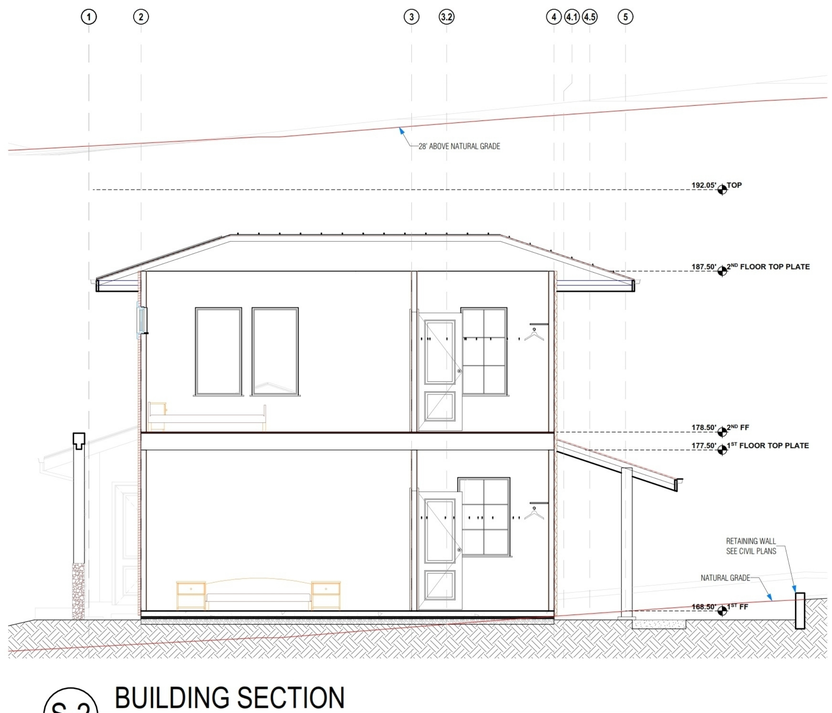
A4.0




S-1 BUILDING SECTION

SCALE: 1/4" = 1'-0"

0 2' 4' 8'




S-2 BUILDING SECTION

SCALE: 1/4" = 1'-0"

0 2' 4' 8'

REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
NO. C68621
Exp. 09-30-25
CIVIL
STATE OF CALIFORNIA

ALEX MARTYNOVSKIY
ALEX.MARTYNOVSKIY@PROTONMAIL.COM

| # | DATE | BY |
|---|---|---|
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| | | |
| | | |
| | | |

NEW SINGLE FAMILY DWELLING
700 GEORGE ST.
MONTARA, CA 94037

APN
036-103-620

OWNER
MARINA FASTOVSKAYA

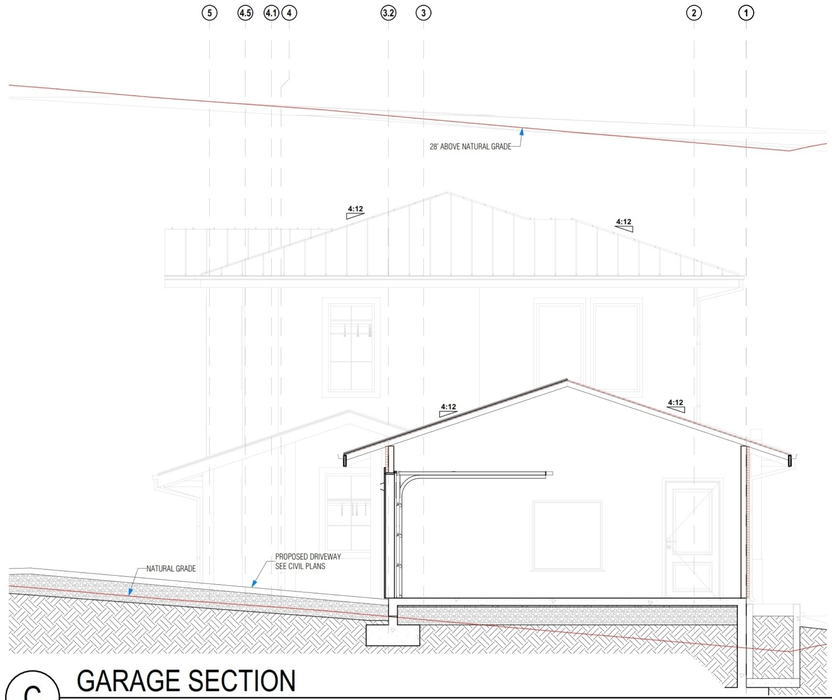
SHEET TITLE
BUILDING SECTIONS

DESIGNER
ALEX MARTYNOVSKIY
NAME
SIGNATURE DATE

PROJECT #: #Pln
DATE: 5/3/2022
DRAWN BY: #Contact Custom
SCALE: AS SHOWN

A5.0

Updated: Monday, 5.13.2024 - 2:51 PM




## C GARAGE SECTION

SCALE: 1/4" = 1'-0"

0 2' 4' 8'


## D BUILDING SECTION

SCALE: 1/4" = 1'-0"

0 2' 4' 8'


REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
NO. C68621
Exp. 09-30-25
STATE OF CALIFORNIA
CIVIL

ALEX MARTYNOVSKIY
ALEX.MARTYNOVSKIY@PROTONMAIL.COM


| # | DATE | BY |
|---|---|---|
| | | |

NEW SINGLE FAMILY DWELLING
700 GEORGE ST.
MONTARA, CA 94037

APN
036-103-620

OWNER
MARINA FASTOVSKAYA

SHEET TITLE
BUILDING SECTIONS

DESIGNER
ALEX MARTYNOVSKIY
NAME
SIGNATURE DATE

PROJECT #: #Pln
DATE: 5/3/2022
DRAWN BY: #Contact Custom
SCALE: AS SHOWN

A5.1

Monday, February 13, 2023 2:51 PM

## PLANT SCHEDULE

### TREES

| No | KEY | QTY | BOTANICAL NAME | COMMON NAME | SIZE/ CONDITION | DESIGNATION | IMAGE |
|---|---|---|---|---|---|---|---|
| 1 | CRH | 1 | Ceanothus x 'Ray Hartman' | RAY HARTMAN CEANOTHUS | 5-Gal | | |
| 2 | FSG | 4 | Fremontodendron x 'San Gabriel' | CALIFORNIA FLANNEL BUSH | 5-Gal | | |
| 3 | PoC | 9 | Prunus caroliniana 'Compacta' | COMPACTA CAROLINA LAUREL CHERRY | 15-Gal | | |
| 4 | FP | 3 | Fern Pine | PODOCARPUS GRACILIOR | 24"-Box | | |

### SHRUBS

| No | KEY | QTY | BOTANICAL NAME | COMMON NAME | SIZE/ CONDITION | DESIGNATION | IMAGE |
|---|---|---|---|---|---|---|---|
| 5 | Cc | 2 | Carpenteria californico | BUSH ANEMONE | 5-Gal | | |
| 6 | Cis | 4 | Cistus x purpureus | ORCHID ROCK ROSE | 5-Gal | | |
| 7 | RsC | 5 | Ribes sanguineum Claremont | PINK FLOWERING CURRANT | 5-Gal | | |
| 7 | Pn | 15 | Pittosporum tenuifolium | SILVER SHEEN (PRIVACY HEDGE) | 5-Gal | | |

### ORNAMENTAL GRASSES

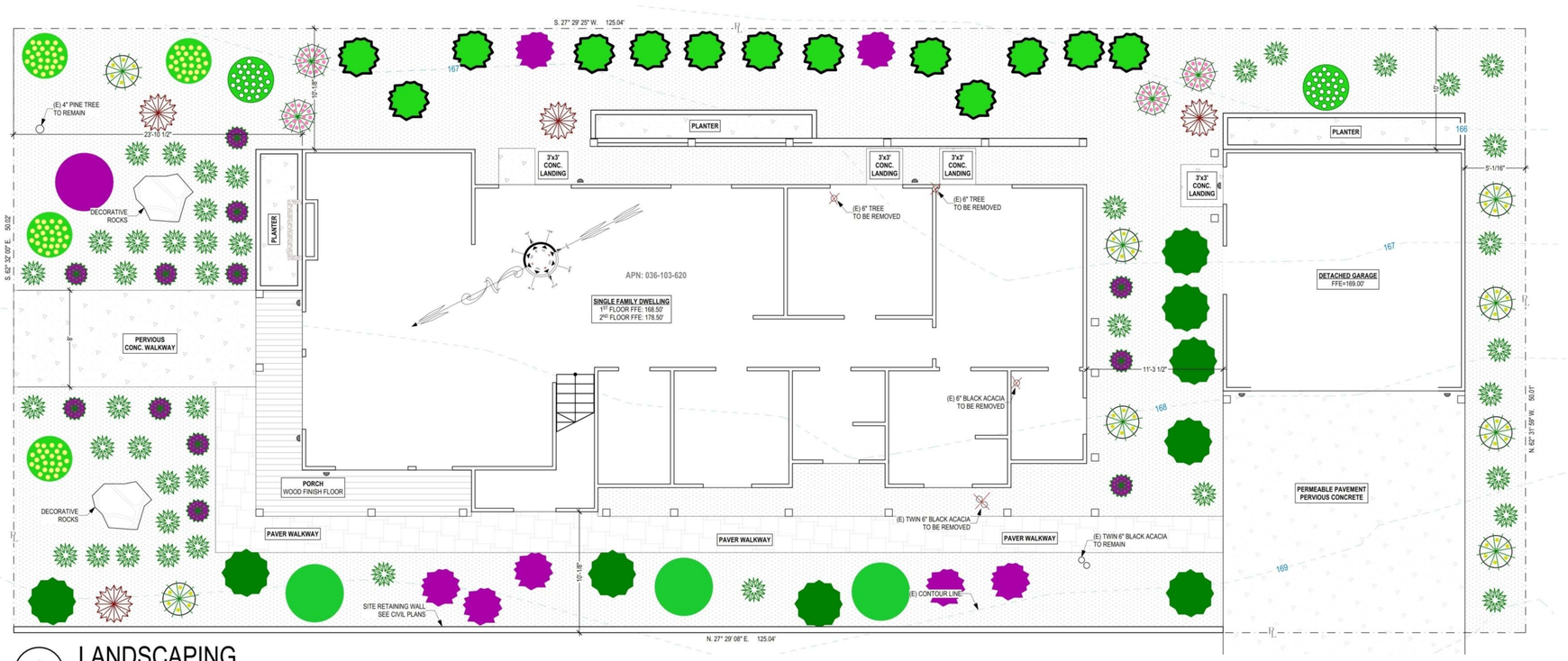
| No | KEY | QTY | BOTANICAL NAME | COMMON NAME | SIZE/ CONDITION | DESIGNATION | IMAGE |
|---|---|---|---|---|---|---|---|
| 8 | FgE | 43 | Festuca glauca 'Elijah Blue' | ELIJAH BLUE BLUE FESCUE | 1-Gal | | |

### PERENNIALS AND ANNUALS

| No | KEY | QTY | BOTANICAL NAME | COMMON NAME | SIZE/ CONDITION | DESIGNATION | IMAGE |
|---|---|---|---|---|---|---|---|
| 9 | PJS | 4 | Phormium 'Jack Spratt' | JACK SPRATT FLAX | 1-Gal | | |
| 10 | Ts | 12 | Thymus serpyllum | WILD THYME | 1-Gal | | |

### GROUNDCOVERS

| No | KEY | QTY | BOTANICAL NAME | COMMON NAME | SIZE/ CONDITION | DESIGNATION | IMAGE |
|---|---|---|---|---|---|---|---|
| 11 | LTG | 8 | Lantana x 'Trailing Gold' | TRAILING GOLD LANTANA | 1-Gal | | |




A LANDSCAPING
SCALE: 3/16" = 1'-0"

0 4' 8' 12'


ALEX MARTYNOVSKIY
ALEX.MARTYNOVSKIY@PROTONMAIL.COM


| # | DATE | BY |
|---|---|---|
| | | |

NEW SINGLE FAMILY DWELLING
700 GEORGE ST.
MONTARA, CA 94037

APN
036-103-620

OWNER
MARINA FASTOVSKAYA

SHEET TITLE
LANDSCAPE PLAN

DESIGNER
ALEX MARTYNOVSKIY
NAME
SIGNATURE DATE

PROJECT #: #Pln
DATE: 5/3/2022
DRAWN BY: #Contact Custom
SCALE: AS SHOWN

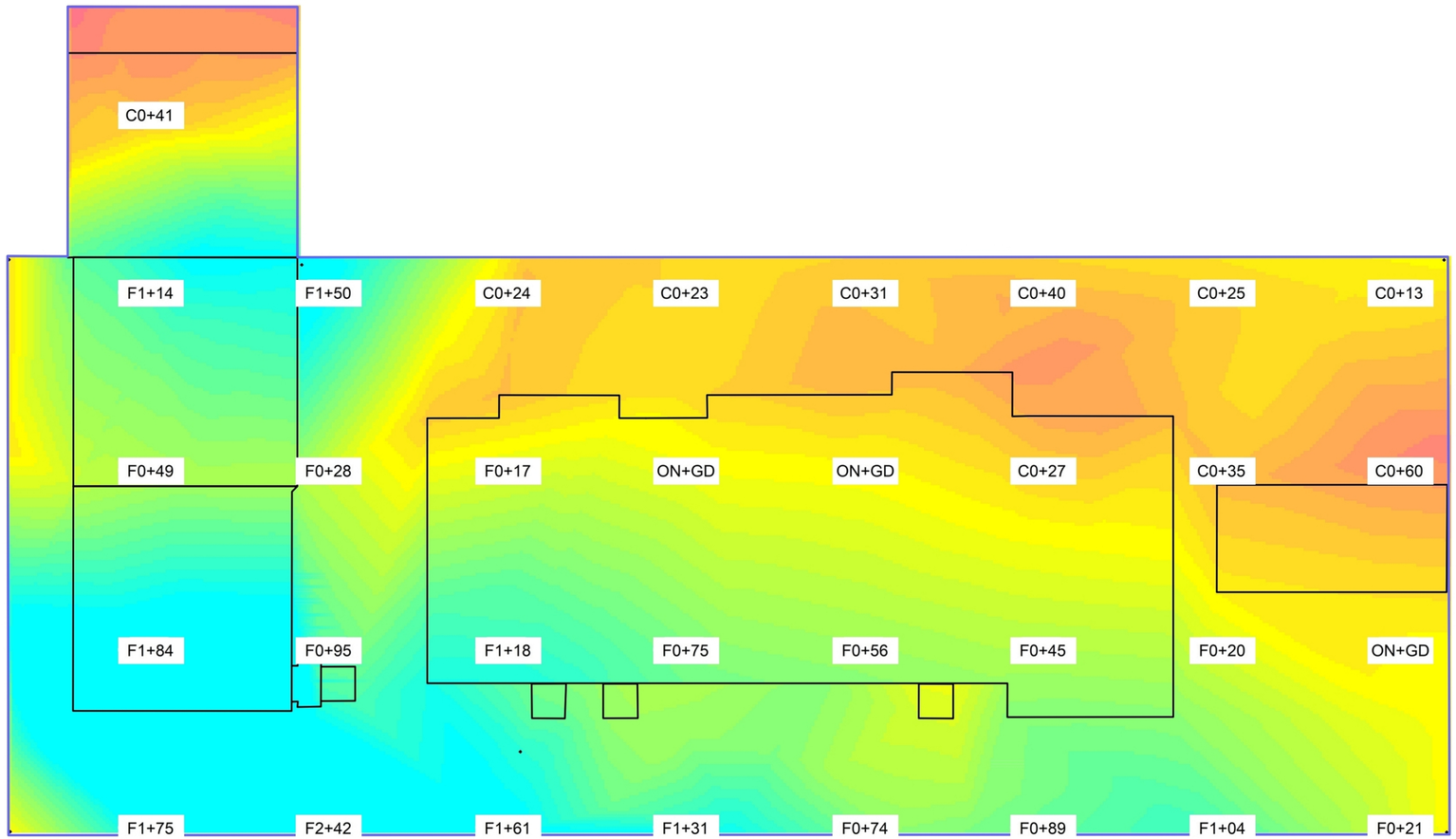
L1.0

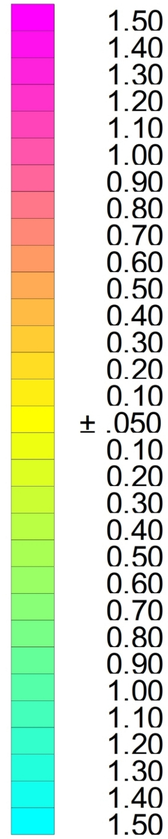
Thursday, May 17 2023 - 9:51 AM

**Job: Modern Tech Resources 1**
**Units: Ft-CY**
**Wed Jun 7, 2023 21:40:25 Page 1**

**Volume Report**
**Design vs Existing**

| | Total | Area Cut | Area Fill | OnGrade | Volume Cut | Volume Fill | Comp/Ratio Cut | Comp/Ratio Fill | Compact Cut | Compact Fill | Export -Import | Change Per 0.1 ft |
|---|---|---|---|---|---|---|---|---|---|---|---|---|
| **Job Site** | 6,738 | 1,998 | 4,037 | 703 | 26 | 134 | 1.00 | 1.00 | 26 | 134 | -108 | **25** |




| EARTHWORK VOLUME CALCULATION | |
|---|---|
| TYPE OF WORK | VOLUME, CUB YARD |
| 1. Grading<br>2. Building & retaining wall foundation<br>3. Planters & fence | - 108<br>+ 32.5<br>+ 10 |
| Total balance | 65.5 cub yard import |

| SYM | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| A | FOR REVIEW | 02-21-24 | IK |

REVISIONS

REGISTERED PROFESSIONAL ENGINEER
IVAN M. KLEYNER
NO. C68621
Exp. 09-30-25
STATE OF CALIFORNIA
CIVIL

**MODERN TECHNOLOGY RESOURCES INC.**
**415.602.2290**

**700 GEORGE ST @ BIRCH ST**
**MONTARA, CA 94037**
**APN: 036-103-620**

# EARTHWORK VOLUME CALCULATION

| | |
|---|---|
| DATE | FEBRUARY 2024 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | OF |

**C1.4**

## GENERAL NOTES:

1. THESE PLANS REPRESENT THE OVERALL ON-SITE IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR OFF-SITE CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.

2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.

3. THE CONTRACTOR SHALL, WHEN THEY DEEM NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFI) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE (RFI) SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFIS SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.

4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRATE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION IN THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL SUFFICIENTLY REVIEW ALL PLANS, PROFILES AND ANY OTHER INFORMATION IN THE CONTRACT DOCUMENTS FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND BY THE CONTRACTOR OR HIS ASSIGNS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER IN WRITING, IN THE FORMAT OF AN RFI PRIOR TO CONSTRUCTION.

5. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT DOCUMENTS, JURISDICTION STANDARDS AND SPECIFICATIONS, AND ALL OTHER APPLICABLE LOCAL AND STATE CODES AND ORDINANCES. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED THROUGHOUT THE PLAN SET AS WELL AS REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL THESE DOCUMENTS.

6. STANDARD CONSTRUCTION ACTIVITIES SHALL BE LIMITED TO THE DAYS AND HOURS REGULATED BY THE JURISDICTION.

7. THE CONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT AT (800) 642-2444 AND A PRIVATE UTILITY LOCATOR PRIOR TO THE START OF WORK TO VERIFY THE LOCATION OF EXISTING UNDERGROUND UTILITIES. THE UTILITIES SHOWN ON THESE PLANS ARE BASED UPON RECORD INFORMATION. HOWEVER, THE CIVIL DESIGN ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR SIZE, ACCURACY OR ACTUAL LOCATIONS.

8. THE CONTRACTOR SHALL RESTORE TO THEIR PREVIOUS CONDITION OR REPLACE STRUCTURES TO REMAIN WHICH ARE DAMAGED DUE TO THE CONTRACTOR'S WORK AT THEIR OWN EXPENSE.

9. THE CONTRACTOR SHALL ABIDE BY THE RULES AND REGULATIONS OF THE STATE OF CALIFORNIA CONSTRUCTION SAFETY ORDERS PERTAINING TO EXCAVATIONS AND TRENCHES. EXCAVATIONS SHALL BE ADEQUATELY SHORED, BRACED, AND SHEATHED SO THAT THE EARTH WILL NOT SLIDE OR SETTLE AND SO THAT THE EXISTING IMPROVEMENTS WILL BE FULLY PROTECTED FROM DAMAGE. DAMAGE RESULTING FROM A LACK OF ADEQUATE SHORING, BRACING, AND SHEATHING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE REPAIRED OR RECONSTRUCTED AT THE CONTRACTORS EXPENSE.

10. TRENCHES SHALL NOT BE LEFT OPEN OVERNIGHT. CONTRACTOR SHALL BACKFILL TRENCHES, OR PLACE STEEL PLATING OR HOT-MIX ASPHALT AS REQUIRED TO PROTECT OPEN TRENCHES AT THE END OF EACH WORK DAY.

11. UPON SATISFACTORY COMPLETION OF THE WORK, THE WORK SITE SHALL BE CLEANED UP AND LEFT WITH A SMOOTH AND NEATLY GRADED SURFACE FREE OF CONSTRUCTION DEBRIS OF ANY NATURE BY THE CONTRACTOR TO THE SATISFACTION OF THE OWNER.

12. THE CONTRACTOR SHALL POST ON SITE EMERGENCY TELEPHONE NUMBERS FOR JURISDICTION ENGINEER, AMBULANCE, POLICE, FIRE DEPARTMENTS, AND THOSE AGENCIES RESPONSIBLE FOR MAINTENANCE OF UTILITIES IN THE VICINITY OF THE JOB SITE.

## DRAINAGE:

1. POLYVINYL CHLORIDE PIPE SHALL CONFORM WITH ASTM D 3034, SDR 35 OR EQUIVALENT.
2. ALL STORM AND FOUNDATION DRAINAGE PIPE SYSTEM SHALL BE PRIMED AND TESTED ACCORDING TO CALIFORNIA PLUMBING CODE.
3. UPON PROJECT COMPLETION, THE CLIENT SHALL BE SOLELY RESPONSIBLE TO ROUTINELY INSPECT AND MAINTAIN ALL ON-SITE STORM DRAIN FACILITIES. STORM DRAIN SYSTEM SHALL BE CLEANED AND/OR FLUSHED ON A BIANNUAL BASIS OR AS FOUND NECESSARY.
4. ALL SOLID STORM AND FOUNDATION DRAINAGE PIPES ARE 4 INCH WITH 2.0 PERCENT SLOPE OR BETTER. ALL PERFORATED PIPES ARE SPECIFIED IN DETAILS UNLESS STATES OTHERWISE IN THE PLAN.
5. SLOPE LANDSCAPE SURFACES AWAY FROM PERIMETER OF THE RESIDENCE AND OTHER STRUCTURES AT 5% FOR A DISTANCE OF 8 TO 10 FEET WHERE POSSIBLE.
6. ALL PIPE FITTINGS INCLUDING CONNECTORS SHALL COMPLY TO CALIFORNIA PLUMBING CODE.
7. GRATE FINISHES AND DESIGN TO BE APPROVED BY ARCHITECT.
8. PLANTER GRATES SHALL BE 4" ATRIUM GRATES
9. CONTRACTOR SHALL VERIFY EXISTING SEWER INVERT PRIOR TO CONSTRUCTION OF NEW BUILDING.
10. ALL CLEANOUTS ARE TWO WAY CLEANOUTS.

### EXISTING SURFACE CONDITIONS:

1. EXISTING INFORMATION SHOWN ON THESE PLANS IS BASED ON SITE SURVEY AND RECORD DOCUMENTS.
2. ALL ELEVATIONS SHOWN REFER TO THE PROJECT TEMPORARY BENCHMARK.
3. EXISTING INFORMATION MAY VARY FROM THOSE SHOWN ON PLANS.
4. CONTRACTOR SHALL REVIEW PLANS AND CONDUCT FIELD INVESTIGATIONS TO VERIFY EXISTING CONDITIONS.
5. THIS SURVEY IS NOT BOUNDARY LINE SURVEYING, PROPERTY LINES SHOWN APPROXIMATELY.
6. ELEVATIONS ARE ACCURATE TO ± 1'-0"

## GRADING:

1. THE CONTRACTOR SHALL EXERCISE EXTREME CARE TO CONFORM TO THE LINES, GRADES, SECTIONS, AND DIMENSIONS AS SET FORTH ON THE PLANS. GRADED AREAS SHALL CONFORM TO THE VERTICAL ELEVATIONS SHOWN WITHIN A TOLERANCE OF ONE-TENTH OF A FOOT. WHERE GRADED AREAS DO NOT CONFORM TO THESE TOLERANCES THE CONTRACTOR SHALL BE REQUIRED TO DO CORRECTIVE GRADING, AT THE CONTRACTORS EXPENSE.
2. ALL WORK SHALL CONFORM TO RECOMMENDATIONS SPECIFIED IN THE GEOTECHNICAL REPORT.
3. ALL GRADING SHALL CONFORM TO THE JURISDICTION ORDINANCE CODE REGULATIONS FOR EXCAVATING, GRADING, FILLING AND CLEARING ON LANDS.
4. THE CONTRACTOR OR ANY SUBCONTRACTOR SHALL NOTIFY UNDERGROUND SERVICE ALERT ONE CALL PROGRAM 48 HOURS IN ADVANCE OF PERFORMING EXCAVATION WORK BY CALLING THE TOLL-FREE NUMBER 800-227-2600. EXCAVATION IS DEFINED AS BEING 18 OR MORE INCHES IN DEPTH BELOW THE EXISTING GROUND.
5. ACTUAL GRADING SHALL BEGIN WITHIN 30 DAYS OF VEGETATION REMOVAL OR THE AREA SHALL BE PLANTED TO CONTROL EROSION. SURFACE PLANT GROWTH ONLY AND WHICH DOES NOT EXCEED 4 INCHES IN DEPTH.
6. EROSION CONTROL MEASURES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY, BETWEEN OCTOBER 15 AND APRIL 15.
7. CONTRACTOR SHALL NOTIFY THE DIRECTOR OR PUBLIC WORKS AT LEAST 48 HOURS PRIOR TO THE FOLLOWING INSPECTIONS: INITIAL INSPECTION OF GRADE STAKING, ROUGH GRADING INSPECTION, STORM/SUB DRAINAGE INSPECTION, FINAL INSPECTION AND APPROVAL.
8. A COPY OF ALL COMPACTION TESTS AND FINAL GRADING REPORT SHALL BE SUBMITTED TO THE JURISDICTION PRIOR TO SCHEDULING ANY INSPECTIONS.
9. DRAINAGE WILL BE A MINIMUM OF 5% AWAY FROM THE HOUSE FOR A MINIMUM OF 10 FEET OR AS SHOWN ON PLAN.
10. POLYVINYL CHLORIDE PIPE SHALL CONFORM WITH ASTM D 3034, SDR 35 OR EQUIVALENT.
11. CONTRACTOR SHALL SUPPLY ALL EQUIPMENT, LABOR AND MATERIALS NECESSARY TO PERFORM THE WORK SHOWN ON THIS PLAN.
12. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS ON THE JOB, AND SHALL NOTIFY THE ENGINEER OF ANY VARIATION FROM THE DIMENSIONS AND CONDITIONS SHOWN. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS.
13. ANY DISCREPANCIES OR OMISSIONS FOUND IN THE CONTRACT DOCUMENTS SHALL BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY. THE DESIGN ENGINEER WILL CLARIFY DISCREPANCIES OR OMISSIONS, IN WRITING, WITHIN A REASONABLE TIME.
14. CONTRACTOR SHALL MINIMIZE THE VOLUME OF RECYCLABLE MATERIALS SENT TO AREA LANDFILLS.
15. THE EXPORTED SOILS FROM THIS SITE SHALL BE REMOVED AND DISPOSED OF IN A MANNER AND LOCATION ACCEPTABLE TO THE JURISDICTION FOLLOWING THE REQUIREMENTS OF ALL APPLICABLE COUNTY, STATE, AND FEDERAL LAWS OR ORDINANCES.
16. SOIL COMPACTION SHALL BE A MINIMUM OF 90% RELATIVE COMPACTION FOR HARDSCAPE SURFACES.

## EXISTING CONDITIONS:

1. EXISTING INFORMATION SHOWN ON THESE PLANS IS BASED ON SITE SURVEY.
2. ALL ELEVATIONS SHOWN REFER TO THE PROJECT VERTICAL DATUM.

## CONSTRUCTION SCHEDULE:

CONSTRUCTION BEGINS: JUNE 2024
CONSTRUCTION ENDS: JULY 2025

## BENCHMARK:

IS A MAG NAIL SET IN THE PAVEMENT OF LARCHMONT DRIVE IN FRONT OF THE SITE
HAVING AN ELEVATION OF 284.27

## GEOTECHNICAL NOTE:

ALL WORK TO COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL INVESTIGATION PREPARED FOR THE PROJECT SITE.

THE GEOTECHNICAL REPORT, NAMED: GEOTECHNICAL STUDY CONTRERAS PROPERTY CORNER OF BIRCH, GEORGE STREET, DATED DECEMBER 6, 2019, BY SIGMA PRIME GEOSCIENCES, INC. , SHALL BE RETAINED ON THE CONSTRUCTION SITE.

THE GEOTECHNICAL ENGINEER OF RECORD IS IGOR KLEYNER, WITH THE CONTACT NUMBER 415-602-2290 AND THE EMAIL ADDRESS IS TESR@EARTHLINK.NET. THE CONTRACTOR MUST SHALL NOTIFY THE GEOTECHNICAL ENGINEER OF RECORD AT LEAST 72 HOURS BEFORE CONSTRUCTION OF GEOTECHNICAL RELATED WORK. THE GEOTECHNICAL PART OF CONSTRUCTION WORK, INCLUDING BUT NOT LIMITED TO, ALL THE EARTHWORK AND FOUNDATION CONSTRUCTIONS, MUST SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER OF RECORD. THE GEOTECHNICAL ENGINEER OF RECORD SHALL FOLLOW CBC2019 FOR ALL CONSTRUCTION OBSERVATION REQUIREMENTS.

## EXISTING UNDERGROUND UTILITIES:

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS PRIOR TO ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
2. THE CONTRACTOR SHALL LOCATE ALL EXISTING UTILITY, INCLUDING BUT NOT LIMITED TO: WATER, SEWER, GAS, ELECTRIC & TELECOMMUNICATIONS, LOCATIONS, INVERTS AND CONDITIONS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE PLANS AND REQUIRING MODIFICATIONS TO THE DESIGN SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION. DIFFERING UTILITY CONDITIONS THAT ARE ENCOUNTERED BY THE CONTRACTOR, THAT REQUIRE MODIFICATION OF DESIGN THAT ARE NOT BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CORRECT AT NO ADDITIONAL COST.
3. CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRANCES INCLUDING, BUT NOT LIMITED TO SANITARY SEWER, STORM SEWER, DOMESTIC WATER, FIRE WATER, IRRIGATION WATER, GAS SERVICE, ELECTRICAL SERVICE, AND TELECOMMUNICATIONS. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS AND LOCATIONS ARE ACHIEVED AS WELL AS COORDINATING WITH THE GOVERNING UTILITY COMPANIES FOR APPROVAL OF UTILITY LOCATIONS AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
4. THE LOCATION OF EXISTING ELECTRICAL MAINS ARE APPROXIMATE. THE CONTRACTOR MUST CONSULT WITH PG&E FOR ADDITIONAL INFORMATION. ALL PROPOSED ELECTRICAL WORK SHALL BE IN CONFORMANCE WITH APPLICABLE LOCAL AND STATE CODES AND ORDINANCES AND PG&E REQUIREMENTS. MINIMUM DEPTH OF COVER OVER ELECTRICAL, GAS AND TELECOMMUNICATIONS SHALL BE TWO FEET. CONTRACTOR SHALL COORDINATE WITH PGE FOR NEW ELECTRIC SERVICE. CONTRACTOR SHALL COORDINATE WITH TELECOM PROVIDER FOR NEW TELECOM SERVICE.
5. THE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF THE NEW WATER SERVICE.
6. THE CONTRACTOR SHALL COORDINATE FOR TELECOM SERVICES FOR NEW SERVICE.

## PROJECT INFORMATION:

| | |
|---|---|
| PROJECT NAME: | 700 GEORGE STREET |
| PROJECT ADDRESS: | 700 GEORGE STREET<br>MONTARA, CA 94037 |
| APN: | 036-103-620 |
| PURPOSE OF GRADING: | NEW RESIDENTIAL DWELLING |
| ARCHITECT/APPLICANT: | ALEX MARTYNOVSKIY<br>10100 COUNTRYSIDE WAY<br>SACRAMENTO, CA 95827 |
| CIVIL ENGINEER: | MTR, INC.<br>EMAIL: TESR@EARTHLINK.NET<br>PHONE: 415.602.2290 |
| STRUCTURAL ENGINEER: | MTR, INC.<br>EMAIL: TESR@EARTHLINK.NET<br>PHONE: 415.602.2290 |
| SURVEYOR: | BGT LAND SURVEYING<br>871 WOODSIDE WAY<br>SAN MATEO, CA 94401<br>EMAIL: BGTINFO@BGTSURVEYING.COM<br>PHONE: 650.212.1030 |

## SCOPE OF WORK:

THIS PROJECT INVOLVES CONSTRUCTION OF THE NEW RESIDENTIAL DWELLING ON SITE.

## QUANTITIES:

| | |
|---|---|
| LOT AREA: | 6,250± SF |
| PRE-PROJECT IMPERVIOUS SURFACE | 0 SF |
| POST-PROJECT IMPERVIOUS SURFACE | 2,800 SF |
| AREA OF DISTURBANCE | 6,250 SF |
| CUT | 26 CY |
| FILL | 81.5 CY |

## SHEET INDEX:



## LEGEND & ABBREVIATIONS:

- PROPERTY LINE
- XXX.XX — EXISTING SPOT ELEVATION
- EXISTING BUILDING FOOTPRINT
- NEW BUILDING FOOTPRINT
- TREE
- (E) CONCRETE
- (E) LAWN
- PERMEABLE PAVERS
- (N) CONCRETE
- PERMEABLE PAVEMENT
- ASPHALTIC CONCRETE
- BIORETENTION PLANTER
- WALL
- SD — STORM DRAIN LINE
- PERFORATED DRAIN LINE
- (N) NEW
- (E) EXISTING
- SD STORM DRAIN
- FFE FINISHED FLOOR ELEVATION
- ROOF DOWNSPOUT
- SURFACE FLOW
- DIRECTION FLOW
- DS DOWNSPOUT
- CO CLEANOUT
- AD AREA DRAIN
- INV INVERT
- OF OVERFLOW
- DG DECOMPOSED GRANITE

### LEGEND AND ABBREVIATIONS:

| | | | |
|---|---|---|---|
| PROPERTY LINE | | (E) | EXISTING |
| SOLID PIPE | | TYP | TYPICAL |
| PERF PIPE | | VIF | VERIFY IN FIELD |
| FOUNDATION PERF PIPE | | SD | STORM DRAIN |
| EASEMENT | | AD | AREA DRAIN |
| SWALE | | RL | ROOF LEADER |
| SD — STORM DRAIN | | PL | PROPERTY LINE |
| W — WATER | | FG | FINISH GRADE |
| G — GAS | | CO | CLEAN OUT |
| SS — SEWER | | DS | DOWNSPOUTS |
| T — TELECOM | | TC | TOP OF CURB |
| FD — FOUNDATION DRAIN | | FL | FLOW LINE |
| FLOW DIRECTION | | | |
| SURFACE FLOW | | | |
| 2.0% SLOPE | | | |
| XXX SPOT ELEVATION | | | |
| CLEAN OUT | | | |
| AREA DRAIN | | | |
| DOWNSPOUTS | | | |

| SYM | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| | REVISIONS | | |
| B | NEW SITE PLAN | 03-03-24 | IK |
| A | FOR REVIEW | 02-21-23 | IK |

REGISTERED PROFESSIONAL ENGINEER — IGOR M. KLEYNER — NO. C68621 — Exp. 09-30-25 — CIVIL — STATE OF CALIFORNIA


MODERN TECHNOLOGY RESOURCES INC.
415.602.2290


700 GEORGE ST @ BIRCH ST
MONTARA, CA 94037
APN: 036-103-620

# GENERAL NOTES

| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 1 OF 15 |

C0.1

# BIRCH STREET

EDGE OF PAVEMENT

S 27°29'08" W 670.22'

SITE BENCHMA

FOUND SHAFT OF CO
AS SHOWN ON 24 LL

12"± MAIN
INV: 156.3±

SSMH
INV: 159.0

6" PLASTIC SS
INV: 161.8

20.0'
3.0'

ASPHALTIC CONCRETE

PERMEABLE PAVEMENT
PERVIOUS CONCRETE

20'

FOUND 3/4" IP WITH PLASTIC PLUG AND TACK "LS 7454"

SITE RETAINING WALL

N 27°29'08" E PROPERTY LINE 125.04'

PERMEABLE PAVERS WALKWAY

63.6'

10'

FOUND 3/4" IP WITH PLASTIC PLUG AND TACK "LS 7454"

50.02'

25.2'

PERMEABLE PAVERS. WALKWAY

8'

PLANTER

DETACHED GARAGE
FFE=169.00'

27'

20'

SINGLE FAMILY DWELLING
FIRST FLOOR FFE: 168.50'
SECOND FLOOR FFE: 178.50'

APN 036-103-620
6,250 SQ. FT.±

LOT 34

LOT 33

LOT 32

N 62°31'59" W PROPERTY LINE 50.01'

S 62°32'00" E PROPERTY LINE

5'

11.3'

3'X3' CONCRETE LANDING, TYP

PLANTER

(E) 4" PINE TREE TO REMAIN

GRAVEL ROAD USED BY ADJOINER FOR ACCESS TO PROPERTY

EDGE OF PAVEMENT

GEORGE STREET

SWALE

STOP SIGN

FOUND 3/4" IP WITH PLASTIC PLUG AND TACK "LS 7454"

FOUND 3/4" IP WITH PLASTIC PLUG AND TACK "LS 7454"

S 27°29'25" W PROPERTY LINE 125.04'

40.00'

13" TREE
18" & 20" TREE
2-12" & 7" TREE
14" TREE
8" TREE
13" TREE

GRADED GRAVEL AREA FOR TRAILER

1 SITE PLAN
1" = 5'

1"=5' 5' 0' 5' 10'

CALL BEFORE YOU DIG

| SYM | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| A | FOR REVIEW | 02-21-23 | IK |
| B | NEW SITE PLAN | 03-03-24 | IK |

REVISIONS

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STATE OF CALIFORNIA


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MONTARA, CA 94037
APN: 036-103-620

SITE PLAN

| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 2 of 15 |

C1.0

BIRCH STREET

GEORGE STREET

GRADE AS NEEDED TOWARDS SWALE

(E)171.4

S 27°29'08" W

670.22'

AC TRANSITION SEE DTL 1/C2.3

CONFORM

20.0'

3.0'

(E)171.2

EDGE OF PAVEMENT

(E)170.4

170.25

170.4

171.0

171.1

ASPHALTIC CONCRETE SWALE

AC SEE DTL 2/C2.3

2.0%

5.0%

GRADE AS NEEDED TO SLOPE

TREE PROTECTION SEE DTL 3/C2.2

FENCE W/ CONC FOOTING

N 27°29'08" E

125.04'

(E)

(E)169.2

169.1

171.38

171.40

171.30

171.20

FOUND 3/4" IP WITH PLASTIC PLUG AND TACK "LS 7454"

PERVIOUS CONCRETE SEE DTL 4/C2.0

(N)WALL

12.0%

PERMEABLE PAVEMENT PERVIOUS CONCRETE

168.99

168.92

169.08

LIP

169.00

DETACHED GARAGE FFE=169.00'

169.18

169.10

±168.0

SINGLE FAMILY DWELLING
FIRST FLOOR FFE: 168.50'
SECOND FLOOR FFE: 178.50'

APN 036-103-620

6,250 SQ. FT.±

168.50

168.50

±168.0

±168.0

±168.0

LOT 34

LOT 33

LOT 32

BLACK ACACIA

CONC. WALKWAY

168.30

1.0%

168.50

50.01'

50.02'

N 62°31'59" W

S 62°32'00" E

(E) 4" PINE TREE
TREE PROTECTION
SEE DTL 3/C2.2

SHARED ROAD USED FOR JOINER FOR ACCESS TO PROPERTY

EDGE OF PAVEMENT

(E)167.2

167.64

FOUND 3/4" IP WITH PLASTIC PLUG AND TACK "LS 7454"

S 27°29'25" W

125.04'

40.00'

13" TREE

18" & 20" TREE

14" TREE

8" TREE

2-12" & 7" TREE

13" TREE

GRADED GRAVEL AREA FOR TRAILER

1 SITE PLAN
1" = 5'

1"=5' 5' 0' 5' 10'

CALL BEFORE YOU DIG

| SYM. | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| B | NEW SITE PLAN | 03-03-24 | IK |
| A | FOR REVIEW | 02-21-23 | IK |

REVISIONS

REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
NO. 068621
Exp. 09-30-25
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700 GEORGE ST @ BIRCH ST
MONTARA, CA 94037
APN: 036-103-620

GRADING PLAN

| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 3 OF 15 |

C1.1

# BIRCH STREET

S 27°29'08" W

670.22'

N 27°29'08" E

125.04'

S 27°29'25" W

125.04'

N 62°31'59" W

50.01'

S 62°32'00" E

50.02'

20.0'

3.0'

ASPHALTIC CONCRETE

PERMEABLE PAVEMENT
PERVIOUS CONCRETE

SWALE
SEE DTL 3/C2.0

3-INCH PERF. PIPE
S=0.02 MIN

RIM=168.25

GARAGE FFE: 171.70'

DETACHED GARAGE

SINGLE FAMILY DWELLING
FIRST FLOOR FFE: 168.50'
SECOND FLOOR FFE: 178.63'

APN 036-103-620
6,250 SQ. FT.±

CONC.
WALKWAY

SEMI-ELEVATED
PLANTER
SEE SHEET C2.1
INV. OUT=165.14

FG=167.0

3-INCH SOLID PIPE
S=0.02 MIN

OVERFLOW BOX RIM=167.2
INV IN = 165.14
SEE DTL 4/C2.1

ELEVATED PLANTER
SEE SHEET C2.1
FG=168.0
INV OUT=165.34

SEMI-ELEVATED PLANTER
FG=167.5
INV OUT=165.44

SWALE
SEE DTL 3/C2.0

FOUND 3/4" IP WITH PLASTIC PLUG AND TACK "LS 7454"

FOUND 3/4" IP WITH PLASTIC PLUG AND TACK "LS 7454"

FOUND 3/4" IP WITH PLASTIC PLUG AND TACK "LS 7454"

GRAVEL ROAD USED BY ADJOINER FOR ACCESS TO PROPERTY

GRADED GRAVEL AREA FOR TRAILER

13" TREE
18" & 20" TREE
2-12" & 7" TREE
14" TREE
8" TREE
13" TREE

EDGE OF PAVEMENT

SITE BENCHMA

FOUND SHAFT OF CO
AS SHOWN ON 24 LL

SSMH
170.31
INV: 159.0

INV: 161.8

12"± MAIN

12"± MAIN
INV: 156.3±

6" PLASTIC

STOP SIGN

GEORGE STREET

LOT 34

LOT 33

LOT 32

1 SITE PLAN
1" = 5'

1"=5'

CALL BEFORE YOU DIG

| SYM. | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| B | NEW SITE PLAN | 03-03-24 | IK |
| A | FOR REVIEW | 02-21-23 | IK |

REVISIONS

REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
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Exp. 09-30-25
CIVIL
STATE OF CALIFORNIA

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700 GEORGE ST @ BIRCH ST
MONTARA, CA 94037
APN: 036-103-620

DRAINAGE PLAN

| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 4 OF 15 |

C1.2

# BIRCH STREET

S 27°29'08" W

670.22'

N 27°29'08" E

S 27°29'25" W

125.04'

N 62°31'59" W

50.01'

S 62°32'00" E

50.02'

40.00'

GAS

WATER

TRENCH DETAIL
SEE DTL SD-18/C4.1

SEE SHEET C4.0 & C4.1

12.7'

(N) 1-1/2" WATER SERVICE

19.0'

PFP SUPPLY METER (N) ¾"
SEE DTL SD-11/C4.0

DOMESTIC WATER SUPPLY
METER (N) ¾" SEE DTL SD-01
C4.1

REDUCED PRESSURE BACKFLOW PREVENTION
SEE DTL SD-05/C4.0

2.5'

10.0'

20.0'

3.0'

ASPHALTIC CONCRETE

PERMEABLE PAVEMENT
PERVIOUS CONCRETE

GARAGE FFE: 169.00

DETACHED GARAGE

SINGLE FAMILY DWELLING
FIRST FLOOR FFE: 168.50'
SECOND FLOOR FFE: 178.63'

APN 036-103-620
6,250 SQ. FT.±

CONC.
WALKWAY

BACKWATER
PREVENTION
SEE SD-6/C5.0

4-INCH PVC SCH 40
SEWER LATERAL
INV: 162.00
SEE DTL

TRENCH DETAIL
SEE SD-4.0/C5.0

SEE DTL 4/C2.3

EXISTING INV
±155 VIF

4-INCH SS LATERAL
SEE SD-5/C5.0

GRAVEL ROAD USED
BY ADJOINER FOR
ACCESS TO PROPERTY

ELECTRICAL
AND TELECOM
SERVICES

FOUND 3/4" IP WITH PLASTIC
PLUG AND TACK "LS 7454"

FOUND 3/4" IP WITH PLASTIC
PLUG AND TACK "LS 7454"

FOUND 3/4" IP WITH PLASTIC
PLUG AND TACK "LS 7454"

FOUND 3/4" IP WITH PLASTIC
PLUG AND TACK "LS 7454"

13" TREE
18" & 20" TREE
14" TREE
8" TREE
2-12" & 7" TREE
13" TREE

GRADED GRAVEL AREA FOR TRAILER

LOT 34

LOT 33

LOT 32

EDGE OF PAVEMENT

SITE BENCHMA

FOUND SHAFT OF CO
AS SHOWN ON 24 LL

SSMH
170.31
INV: 159.0
INV: 161.8

12"± MAIN
INV: 156.3±

6" PLASTIC

SWALE

STOP SIGN

GEORGE STREET

EDGE OF P

1 SITE PLAN
1" = 5'

1"=5'

CALL BEFORE YOU DIG

| SYM. | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| B | NEW SITE PLAN | 03-03-24 | IK |
| A | FOR REVIEW | 02-21-23 | IK |

REVISIONS

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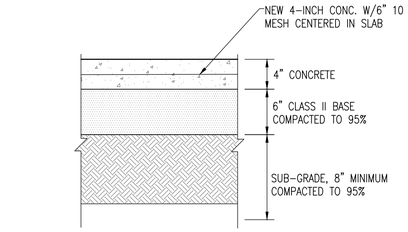
MONTARA, CA 94037
APN: 036-103-620

UTILITY PLAN

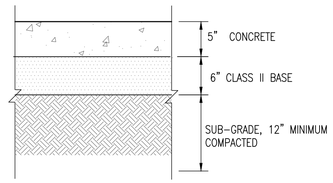
| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 5 of 15 |

C1.3



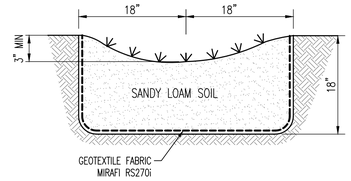

NOTES:
1. PAVEMENT RESTORATION MUST EQUAL EXISTING SECTION

## 1 - CONCRETE WALKWAY SECTION
NO SCALE

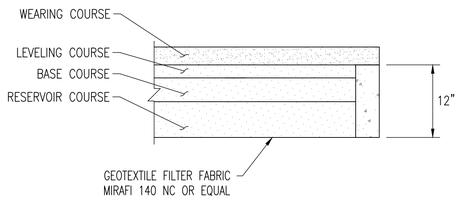


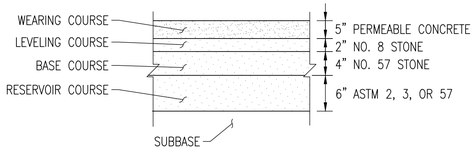

NOTES:
1. 8 FEET MAX CONSTRICTION JOINT
2. #4 REBAR 12" O.C.
3. BROOM FINISH
4. SEE ARCH DRAWINGS FOR COLOR

## 2 - GARAGE SECTION
NO SCALE

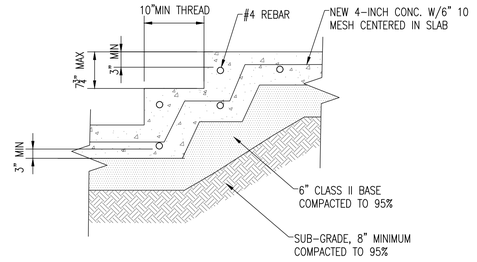



## 3 - SWALE DETAIL
NO SCALE

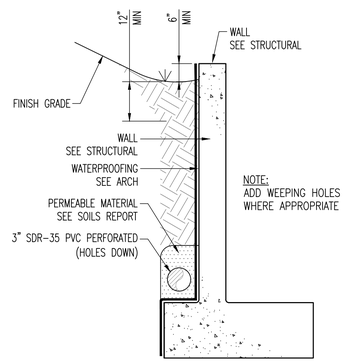


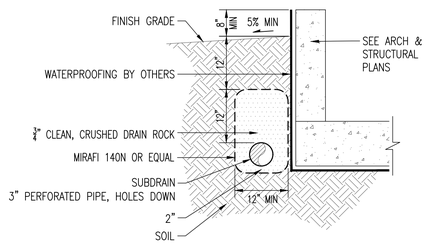

## 4 - PERMEABLE SURFACE SECTION
NO SCALE




## 5 - CONCRETE STAIR SECTION
NO SCALE

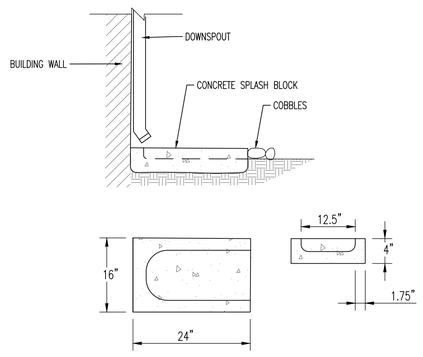



## 6 - WALL DRAIN SECTION
NO SCALE




NOTE:
PROVIDE CLEANOUTS TO GRADE AT ALTERNATING BENDS OR EVERY 100 LF OF PIPE RUN. CONNECT TO SUBDRAIN VIA WYE CONNECTION. DO NOT USE 90° BENDS. USE 90° SWEEP OR TWO 45° BENDS TO ALLOW FOR EASY CLEANOUT ACCESS

## 7 - FOUNDATION DRAIN
NO SCALE




## 3 - SPLASH BLOCK
NO SCALE

| SYM | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| A | FOR REVIEW | 02-21-23 | IK |
| B | NEW SITE PLAN | 03-03-24 | IK |

REVISIONS

REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
NO. C68621
Exp. 09-30-25
CIVIL
STATE OF CALIFORNIA

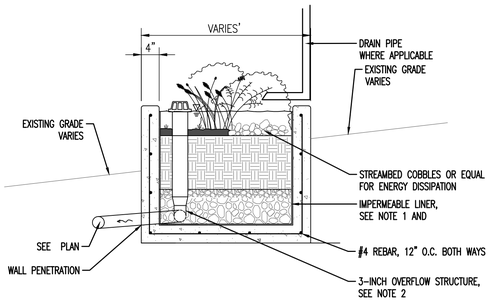
**MODERN TECHNOLOGY RESOURCES INC.**
**415.602.2290**

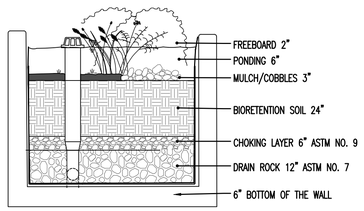
**700 GEORGE ST @ BIRCH ST**
**MONTARA, CA 94037**
**APN: 036-103-620**

# DETAILS

| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 6 OF 15 |

**C2.0**

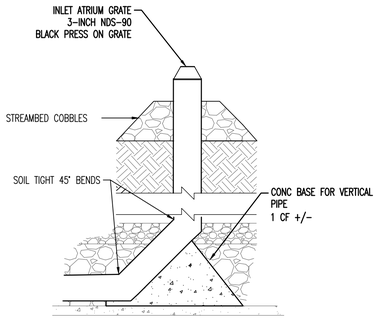


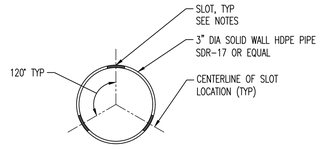

CONSTRUCTION NOTES:

1. INTEGRATE WATERPROOFING WITH WALL SYSTEMS INCLUDING WATERPROOF PIPE PENETRATIONS, JOINTS, AND LINER CONNECTIONS.
2. OVERFLOW STRUCTURE (MATERIAL AND WORKMANSHIP) SHALL CONFORM TO APPLICABLE CALIFORNIA BUILDING CODES AND REQUIREMENTS.
3. SEE DETAIL FOR ADDITIONAL DIMENSIONS AND DETAILS.

## 1 – FLOW THROUGH PLANTER
NO SCALE



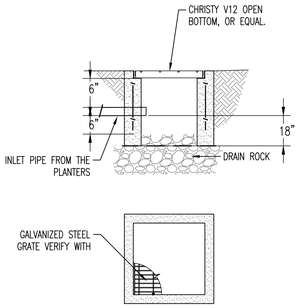

## 2 – INLET DETAIL
NO SCALE



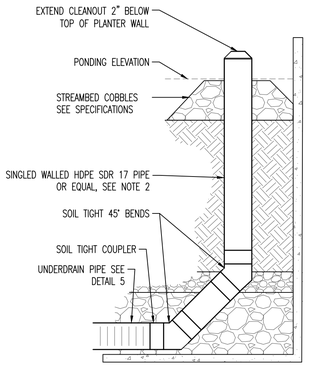

NOTES:

1. UNDERDRAIN PIPE SHALL BE SLOTTED HDPE SDR 17. SINGLE WALL AND DUAL WALL CORRUGATED HDPE PIPE AASHTO M252 AND M294 TYPES C, S, AND D ARE NOT ACCEPTABLE.
2. ALL PERFORATIONS SHALL BE SLOTTED TYPE, MEASURING 0.032 INCH WIDE (MAX), SPACED AT 0.25 INCH (MIN), AND PROVIDING A MINIMUM INLET AREA OF 5.0 SQUARE INCH PER LINEAR FOOT OF PIPE.
3. PERFORATIONS SHALL BE ORIENTED PERPENDICULAR TO LONG AXIS OF PIPE, AND EVENLY SPACED AROUND CIRCUMFERENCE AND LENGTH OF PIPE.
4. SET CROWN OF UNDERDRAIN PIPE AT OR BELOW BOTTOM OF CHOKING COURSE.
5. LONGITUDINAL SLOPE OF UNDERDRAIN PIPE SHALL BE FLAT.

## 3 – SLOTTED UNDERDRAIN PIPE
NO SCALE



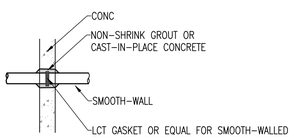

## 4 – BUBBLER BOX DETAIL
NO SCALE




NOTES:

1. ALL MATERIAL AND WORKMANSHIP FOR CLEANOUTS SHALL CONFORM TO CALIFORNIA PLUMBING STANDARD SPECIFICATION AND APPLICABLE CODES PER SAN MATEO COUNTY.
2. CLEANOUT PIPE AND FITTINGS SHALL BE SAME SIZE AND MATERIAL AS SLOTTED UNDERDRAIN PIPE.
3. COVER SHALL HAVE A TAMPER RESISTANT LOCKING MECHANISM COVER SHALL INCLUDE CASTING OF "CO" OR EQUAL.
4. CLEANOUT SHALL BE INSTALLED TO ALLOW FOR MAINTENANCE ACCESS TO ALL PIPES.
5. ALL FITTINGS SHALL BE SOIL TIGHT.

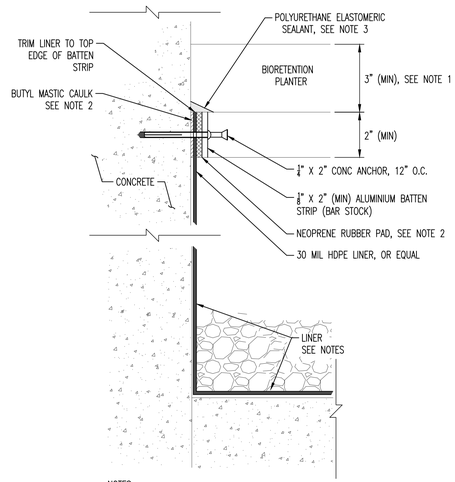
## 5 – CLEANOUT IN PLANTER
NO SCALE




NOTES:

1. CUT OPENING IN LINER FOR PIPE TO WITHIN 1/2" OF PIPE OUTSIDE DIAMETER.
2. FILL ANNULAR SPACE WITH 1" MINIMUM GRANULAR BENTONITE FILLET AS SHOWN.
3. APPLY BUTYL MASTIC CAULK AND NEOPRENE RUBBER PAD CONTINUOUSLY AROUND PIPE.
4. PROVIDE CONTINUOUS EXTRUSION WELD AT PIPE BOOT/LINER INTERFACE.
5. FORM BOOT WITH SUFFICIENT MATERIAL TO PREVENT OVERSTRESSING DURING BACKFILLING, BUT WITHOUT FOLDS OR WRINKLES.
6. CONSTRUCT BOOT FROM SAME MATERIAL AS THE LINER.
7. ANGLE SHOULD NOT BE LESS THAN 30°. IF ANGLE LESS THAN 30° ADD SOIL AROUND THE PIPE TO INCREASE THE ANGLE AND PREVENT STRESSING AND CRACKING
8. SEAL CLAMP AND END OF BOOT WITH HEAT SHRINK WRAP. EXTEND HEAT SHRINK WRAP ONE PIPE DIAMETER (MINIMUM) BEYOND CLAMP.
9. CONTRACTOR MAY USE PREFABRICATED PIPE BOOTS IN LIEU OF FIELD-FABRICATED BOOTS. CONNECT PREFABRICATED BOOT TO LINER AND PIPE PER MANUFACTURER'S RECOMMENDATIONS.

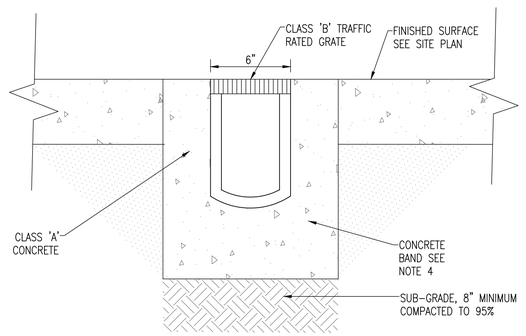
## 6 – WALL TIGHT PENETRATION
NO SCALE




NOTES:

1. LINER SHALL BE HDPE CONFORMING TO GEOSYNTHETIC RESEARCH INSTITUTE (GRI) GM13 OR LLDPE CONFORMING TO GRI GM17.
2. LINER SHALL LAY FLUSH WITH SURFACE WITH NO AIR VOIDS BELOW THE LINER PRIOR TO BACKFILLING MATERIAL ABOVE LINER.
3. OVERLAP LINER PER MANUFACTURER'S RECOMMENDATIONS.
4. ALL SEAMS SHALL BE WELDED PER MANUFACTURER'S RECOMMENDATIONS UNLESS OTHERWISE SPECIFIED.
5. SECURE LINER CONTINUOUSLY WITH DOUBLE-SIDED TAPE ALONG LINER EDGE AND SINGLE SIDED TAPE ALONG TOP EDGE OF LINER TO HOLD LINER IN PLACE DURING BACKFILLING.
6. TOP OF LINER LINER OR EQUAL WATERPROOFING SHALL EXTEND TO TOP OF FREEBOARD ELEVATION (2" BELOW TOP OF PLANTER).
7. APPLY BUTYL MASTIC CAULK, BATTEN STRIP, AND NEOPRENE RUBBER PAD CONTINUOUSLY ALONG TOP EDGE OF LINER.
8. APPLY BEAD OF POLYURETHANE ELASTOMERIC SEALANT CONTINUOUSLY ALONG TOP EDGE OF BATTEN STRIP ASSEMBLY

## 7 – WATERTIGHT LINER ATTACHMENT
NO SCALE




NOTES:

1. PRE-SLOPED TRENCH DRAIN. CONTRACTOR MAY USE POLYCAST 600 SERIES OR ZURN890 OR ACO DRAINLINE 150.
2. MIN INVERT DEPTH 4-INCH.
3. INSTALL PER MANUFACTURER'S INSTRUCTIONS.
4. 4-INCH SIDE, 6-INCH BOTTOM

## 8 – TRENCH SECTION
NO SCALE

| SYM | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| B | NEW SITE PLAN | 03-03-24 | IK |
| A | FOR REVIEW | 02-21-23 | IK |

REVISIONS

REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
NO. C68621
Exp. 09-30-25
CIVIL
STATE OF CALIFORNIA

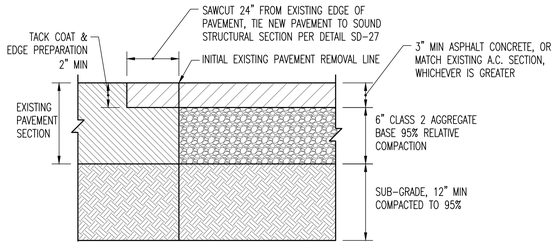
MODERN TECHNOLOGY RESOURCES INC.
415.602.2290

700 GEORGE ST @ BIRCH ST
MONTARA, CA 94037
APN: 036-103-620

DETAILS

| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 7 OF 15 |

C2.1

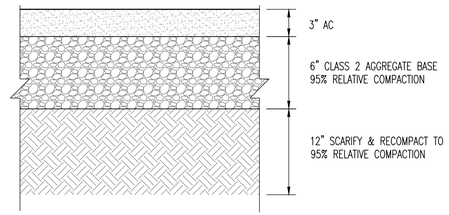



NOTES:

1. PAVEMENT RESTORATION MUST EQUAL EXISTING SECTION.

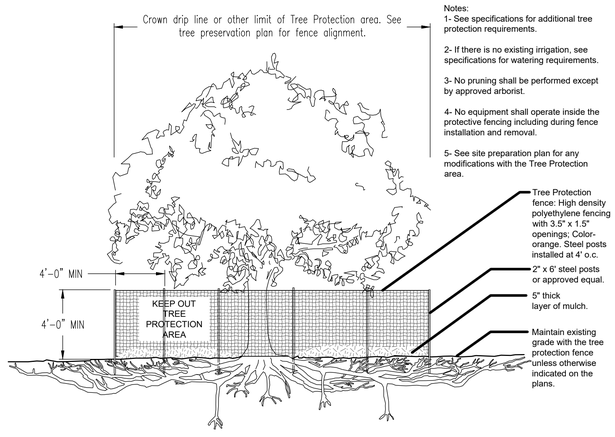
1 - TRANSITION AC DETAIL

SCALE: NO SCALE



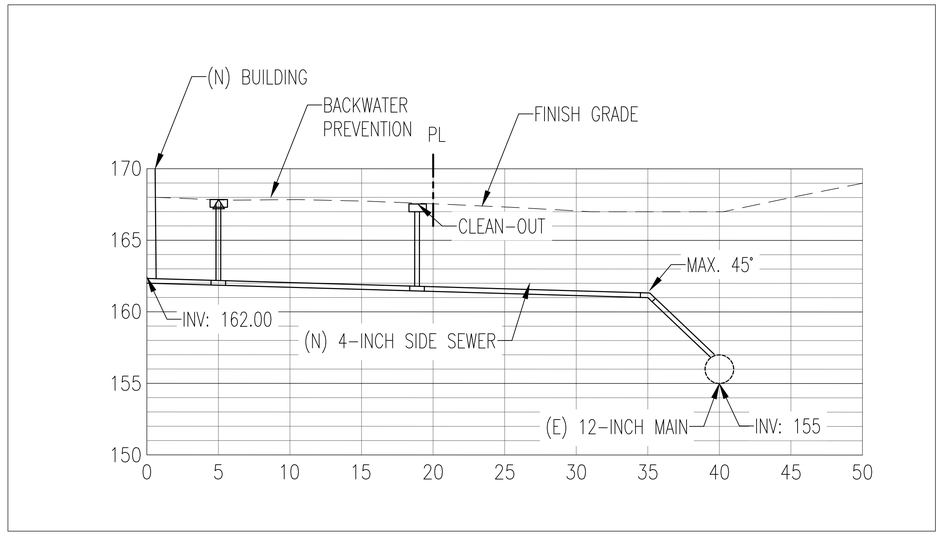

2 - AC SECTION DETAIL

SCALE: NO SCALE




3 - TREE PROTECTION DETAIL

SCALE: NO SCALE




4 - SIDE SEWER LATERAL SECTION DETAIL

SCALE: 1"=5'

| SYM. | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| A | FOR REVIEW | 02-21-23 | IK |
| B | NEW SITE PLAN | 03-03-24 | IK |

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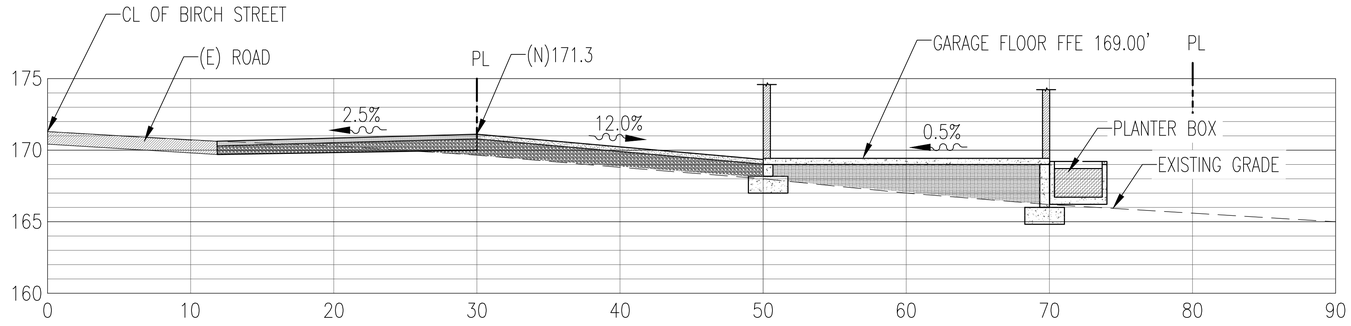
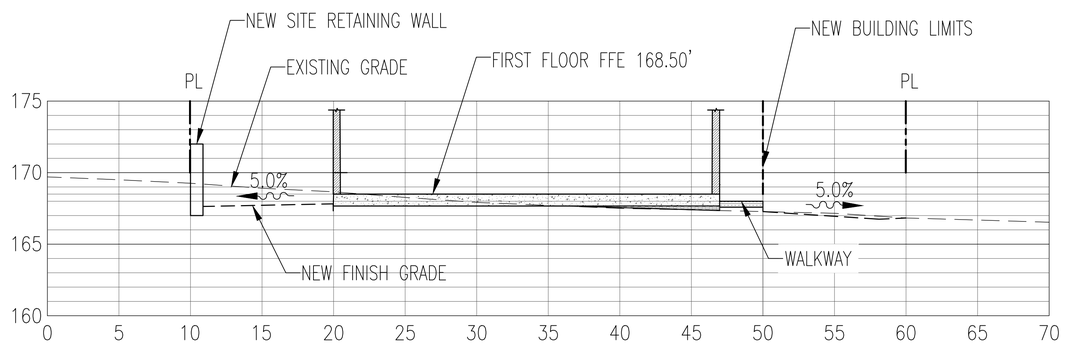
DETAILS

| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 8 OF 15 |

C2.2




1 — SECTION A–A
1"=5'; V:1', H:5'




2 — SECTION B–B
1"=5'; V:1', H:5'

| SYM | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| A | FOR REVIEW | 02-21-23 | IK |
| B | NEW SITE PLAN | 03-03-24 | IK |

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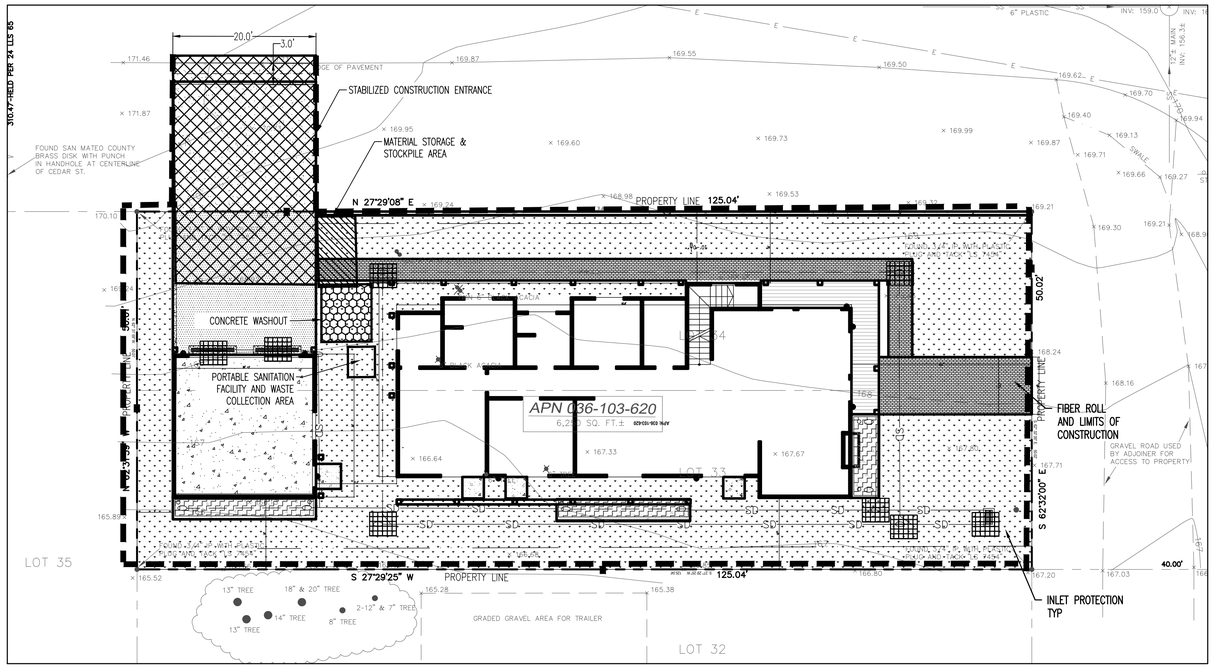
**MONTARA, CA 94037**
**APN: 036-103-620**

# SECTION A-A

| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 9 OF 15 |

**C2.3**




1 SITE PLAN
SCALE 1"=10'

1"=10' 10' 0' 10' 20'

## EROSION & SEDIMENT CONTROL NOTES:

1. THIS PLAN IS INTENDED FOR EROSION CONTROL ONLY. OTHER INFORMATION SHOWN HEREIN MAY NOT BE THE MOST CURRENT.
2. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND FILING ALL PLANS WITH THE RELATED AGENCIES ASSOCIATED WITH THEIR WORK. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, PERMITS FOR STORAGE OF HAZARDOUS MATERIALS, BUSINESS PLANS, PERMITS FOR STORAGE OF FLAMMABLE LIQUIDS, GRADING PERMITS, OR OTHER PLANS OR PERMITS REQUIRED BY THE JURISDICTION. ALL PROPERTY OWNERS, CONTRACTORS, OR SUBCONTRACTORS WORKING ON-SITE ARE INDIVIDUALLY RESPONSIBLE FOR OBTAINING AND SUBMITTING ANY BUSINESS PLANS OR PERMITS REQUIRED BY CITY, STATE OR LOCAL AGENCIES.
3. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED, DURING THE RAINY SEASON (OCT. 15 TO MAY 15), UNTIL DISTURBED AREAS ARE STABILIZED. CHANGES TO THIS PLAN TO MEET FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF, OR AT THE DIRECTION OF THE OWNER, CHANGES MADE TO SUIT FIELD CONDITIONS WILL BE MADE ONLY WITH THE APPROVAL OF OR AT THE DIRECTION OF THE OWNER. CHANGES MADE TO SUIT FIELD CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CIVIL ENGINEER AND JURISDICTION FOR COMMENT AND APPROVAL.
4. ALL EROSION CONTROL FACILITIES MUST BE INSPECTED AND REPAIRED AS NECESSARY AT THE END OF EACH WORKING DAY, AFTER SIGNIFICANT RAIN OR DAILY DURING THE RAINY SEASON.
5. IF SIGNIFICANT SEDIMENT OR OTHER VISUAL SYMPTOMS OF IMPURITIES ARE NOTICED IN THE STORM WATER, CONTACT THE CIVIL ENGINEER IMMEDIATELY.
6. CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND RESTORATION OF ALL ASPECTS OF THE EROSION CONTROL PLAN. SEDIMENT ON THE SIDEWALKS AND GUTTERS SHALL BE REMOVED BY SHOVEL OR BROOM AND DISPOSED APPROPRIATELY.
7. ALL EMPLOYEES, CONTRACTORS, AND SUBCONTRACTORS ARE RESPONSIBLE FOR CONFORMING TO THE ELEMENTS SHOWN ON THIS PLAN AND RELATED DOCUMENTS.
8. CONTRACTOR TO EMPLOY BEST MANAGEMENT PRACTICES (BMP'S) IN ACCORDANCE WITH THE STATE OF CALIFORNIA DEPARTMENT OF TRANSPORTATION.
9. ALL DUMPSTERS OR OTHER TRASH STORAGE ENCLOSURES SHALL BE UTILIZED SOLELY FOR NON-HAZARDOUS MATERIALS.
10. CONTRACTOR TO PROPERLY AVOID AND PROTECT EXISTING TREES AND TREE ROOTS
11. DURING THE RAINY SEASON, ALL PAVED AREAS WILL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS, THE SITE SHALL BE MAINTAINED SO THAT A MINIMUM OF SEDIMENT-LADEN RUNOFF ENTERS THE STORM DRAIN SYSTEM. THESE PLANS SHALL REMAIN IN EFFECT UNTIL THE IMPROVEMENTS ARE ACCEPTED BY THE JURISDICTION AND ALL SLOPES ARE STABILIZED.
12. BORROW AREAS AND TEMPORARY STOCKPILES SHALL BE PROTECTED WITH APPROPRIATE EROSION CONTROL MEASURES TO THE SATISFACTION OF THE JURISDICTION.
13. REMOVE SPOILS PROMPTLY AND AVOID STOCKPILING OF FILL MATERIALS WHEN RAIN IS FORECAST. IF RAIN IS FORECAST OR APPARENT, STOCKPILED SOILS AND OTHER MATERIALS SHALL BE COVERED WITH PLASTIC OR A TARP, AT THE REQUEST OF THE JURISDICTION.
14. STORE, HANDLE AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES SO AS TO PREVENT THEIR ENTRY INTO THE STORM DRAIN SYSTEM. CONTRACTOR MUST NOT ALLOW CONCRETE, WASHWATERS, SLURRIES, PAINT OR OTHER MATERIALS TO ENTER THE CATCH BASINS, STORM DRAINAGE, OR ENTER SITE RUNOFF.
15. USE FILTRATION OR OTHER APPROVED MEASURES TO REMOVE SEDIMENT FROM DEWATERING EFFLUENT.
16. NO CLEANING, FUELING OR MAINTAINING VEHICLES ON SITE SHALL BE PERMITTED TO ALLOW DELETERIOUS MATERIALS FROM ENTERING THE CATCH BASINS, STORM DRAINAGE, OR ENTER SITE RUNOFF.
17. EROSION CONTROL MEASURES TO BE EMPLOYED PER "EROSION AND SEDIMENT CONTROL FIELD MANUAL", CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD CENTRAL COAST REGION.
18. VEHICLES SHALL BE WASHED PRIOR TO LEAVING SITE DURING CONSTRUCTION.
19. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH APPROVED METHODS ESTABLISHED BY THE SOILS ENGINEER.
20. STOCKPILES, BORROW AREAS AND SPOIL AREAS SHALL BE STABILIZED TO PREVENT EROSION AND SEDIMENTATION.
21. APPLY SEED, FERTILIZER AND STRAW MULCH, THEN TRACK OR PUSH IN THE MULCH WITH AN APPROVED MECHANICAL MEANS OR BY HAND.
22. DISTURBANCE OF SURFACE VEGETATION DURING CONSTRUCTION SHALL BE KEPT TO A MINIMUM.
23. DISTURBED AREAS SHOULD BE SEEDED, FERTILIZED, AND MULCHED TO PREVENT EROSION DURING WINTER MONTHS. INSTALL STRAW BALE SILTATION BARRIER AS NECESSARY.
24. CONTRACTOR SHALL BE RESPONSIBLE FOR STREET SWEEPING TO KEEP DUST, SOIL, AND OTHER CONSTRUCTION DEBRIS FROM LEAVING PROJECT SITE.

## COUNTY OF SAN MATEO EROSION & SEDIMENT CONTROL NOTES:

EROSION CONTROL POINT OF CONTACT: NAME:
ADDRESS:
EMAIL:
TEL:

1. PERFORM CLEARING AND EARTH-MOVING ACTIVITIES ONLY DURING DRY WEATHER. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED PRIOR TO EARTH-MOVING ACTIVITIES AND CONSTRUCTION.
2. MEASURES TO ENSURE ADEQUATE EROSION AND SEDIMENT CONTROL ARE REQUIRED YEAR-ROUND. STABILIZE ALL DENUDED AREAS AND MAINTAIN EROSION CONTROL MEASURES CONTINUOUSLY BETWEEN OCTOBER 1 AND APRIL 30.
3. STORE, HANDLE, AND DISPOSE OF CONSTRUCTION MATERIALS AND WASTES PROPERLY, SO AS TO PREVENT THEIR CONTACT WITH STORMWATER.
4. CONTROL AND PREVENT THE DISCHARGE OF ALL POTENTIAL POLLUTANTS, INCLUDING PAVEMENT CUTTING WASTES, PAINTS, CONCRETE, PETROLEUM PRODUCTS, CHEMICALS, WASH WATER OR SEDIMENTS, AND NON-STORMWATER DISCHARGES TO STORM DRAINS AND WATERCOURSES.
5. USE SEDIMENT CONTROLS OR FILTRATION TO REMOVE SEDIMENT WHEN DEWATERING SITE AND OBTAIN REGIONAL WATER QUALITY CONTROL BOARD (RWQCB) PERMIT(S) AS NECESSARY.
6. AVOID CLEANING, FUELING, OR MAINTAINING VEHICLES ON-SITE, EXCEPT IN A DESIGNATED AREA WHERE WASH WATER IS CONTAINED AND TREATED.
7. LIMIT AND TIME APPLICATIONS OF PESTICIDES AND FERTILIZERS TO PREVENT POLLUTED RUNOFF.
8. LIMIT CONSTRUCTION ACCESS ROUTES TO STABILIZED, DESIGNATED ACCESS POINTS.
9. AVOID TRACKING DIRT OR OTHER MATERIALS OFF-SITE; CLEAN OFF-SITE PAVED AREAS AND SIDEWALKS USING DRY SWEEPING METHODS.
10. TRAIN AND PROVIDE INSTRUCTION TO ALL EMPLOYEES AND SUBCONTRACTORS REGARDING THE WATERSHED PROTECTION MAINTENANCE STANDARDS AND CONSTRUCTION BEST MANAGEMENT PRACTICES.
11. PLACEMENT OF EROSION MATERIALS REQUIRED ON WEEKENDS AND DURING RAIN EVENTS.
12. THE AREAS DELINEATED ON THE PLANS FOR PARKING, GRUBBING, STORAGE, ETC., SHALL NOT BE ENLARGED OR "RUN OVER."
13. CONSTRUCTION SITES ARE REQUIRED TO HAVE EROSION CONTROL MATERIALS ON-SITE DURING THE "OFF-SEASON."
14. DUST CONTROL IS REQUIRED YEAR-ROUND.
15. EROSION CONTROL MATERIALS SHALL BE STORED ON-SITE.
16. USE OF PLASTIC SHEETING BETWEEN OCTOBER 1 AND APRIL 30 IS NOT ACCEPTABLE, UNLESS FOR USE ON STOCKPILES WHERE THE STOCKPILE IS ALSO PROTECTED WITH FIBER ROLLS CONTAINING THE BASE OF THE STOCKPILE.
17. TREE PROTECTION SHALL BE IN PLACE BEFORE ANY DEMOLITION, GRADING, EXCAVATING OR GRUBBING IS STARTED
20. PROTECT ALL STORM DRAIN INLETS AND OUTLETS IN VICINITY OF SITE USING SEDIMENT CONTROLS SUCH AS BERMS,FIBER ROLLS, OR FILTERS.
21. USE TEMPORARY EROSION CONTROLS TO STABILIZE ALL DENUDED AREAS UNTIL PERMANENT EROSION CONTROLS ARE ESTABLISHED.
22. TRAP SEDIMENT ON-SITE, USING BEST MANAGEMENT PRACTICES SUCH AS SEDIMENT BASINS OR TRAPS, EARTHEN DIKES OR BERMS, SILT FENCES, CHECK DAMS, SOIL BLANKETS OR MATS, COVERS FOR SOIL STOCK PILES, ETC.
23. DIVERT ON-SITE RUNOFF AROUND EXPOSED AREAS; DIVERT OFF-SITE RUNOFF AROUND THE SITE (E.G., SWALES AND DIKES).
24. PROTECT ADJACENT PROPERTIES AND UNDISTURBED AREAS FROM CONSTRUCTION IMPACT USING VEGETATIVE BUFFER STRIPS, SEDIMENT BARRIERS, DIKES, MULCHING, OR OTHER MEASURES AS APPROPRIATE.

## CONSTRUCTION PARKING AND STORAGE

1. PARK CONSTRUCTION VEHICLES IN THE DESIGNATED AREAS OF THE EXISTING DRIVEWAY AND ALONG LARCHMONT RD
2. EQUIPMENT AND MATERIALS TO BE STORED AS SHOWN ON PLAN

## CONSTRUCTION NOTES:

1. EXCAVATION, GRADING, FILLING, CLEANING OF VEGETATION SHALL BE DONE BY HAND AND/OR SMALL MACHINERY. USE STOCKPILE AREA FOR STORAGE.
2. MIXED CONSTRUCTION AND DISPOSAL DEBRIS MUST BE TRANSPORTED OFF-SITE BY ORDINANCE OF CITY, STATE, OR LOCAL AGENCIES.
3. CONTRACTOR SHALL PROVIDE TEMPORARY IRRIGATION AND INSTALL PERMANENT IRRIGATION AFTER COMPLETION OF THE CONSTRUCTION.
4. ALL DISTURBED AREAS MUST BE GRASSED IMMEDIATELY AFTER CONSTRUCTION IS COMPLETED.

## LEGEND

INLET FILTER

FIBER ROLL

| SYM. | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| B | NEW SITE PLAN | 03-03-24 | IK |
| A | FOR REVIEW | 02-21-23 | IK |

REVISIONS

REGISTERED PROFESSIONAL ENGINEER
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MODERN TECHNOLOGY RESOURCES INC.
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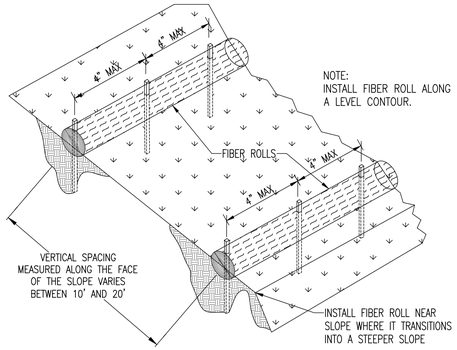
700 GEORGE ST @ BIRCH ST
MONTARA, CA 94037
APN: 036-103-620

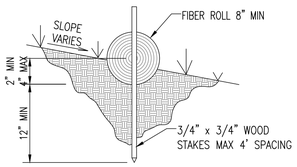
# EROSION CONTROL PLAN

| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 10 OF 15 |

C3.0

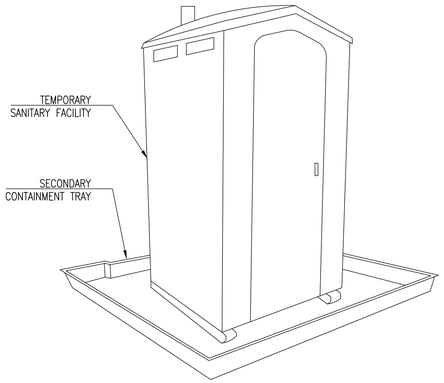



TYPICAL FIBER ROLL INSTALLATION
N.T.S




ENTRENCHMENT DETAIL
N.T.S

## 1 FIBER ROLL
NOT TO SCALE




STORAGE AND DISPOSAL PROCEDURES:

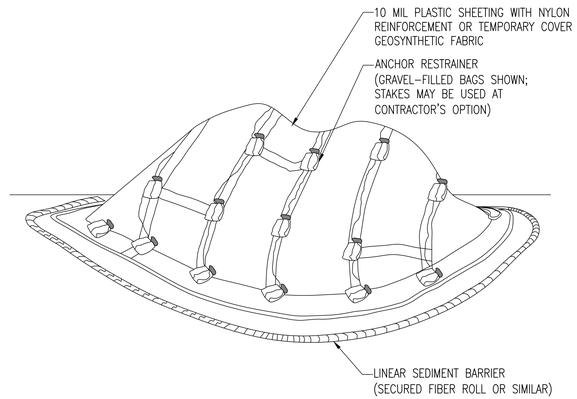
1. TEMPORARY SANITARY FACILITIES SHOULD BE LOCATED AWAY FROM DRAINAGE FACILITIES, WATERCOURSES, AND FROM TRAFFIC CIRCULATION. IF SITE CONDITIONS ALLOW, PLACE PORTABLE FACILITIES A MINIMUM OF 50 FEET FROM DRAINAGE CONVEYANCES AND TRAFFIC AREAS.

2. WHEN SUBJECTED TO HIGH WINDS OR RISK OF HIGH WINDS, TEMPORARY SANITARY FACILITIES SHOULD BE SECURED TO PREVENT OVERTURNING.

3. TEMPORARY SANITARY FACILITIES MUST BE EQUIPPED WITH SECONDARY CONTAINMENT TRAYS TO PREVENT DISCHARGE OF POLLUTANTS TO THE STORMWATER DRAINAGE SYSTEM OF THE RECEIVING WATER.

4. ARRANGE FOR REGULAR WASTE COLLECTION, DO NOT ALLOW SANITARY FACILITY TO BECOME OVERFULL.

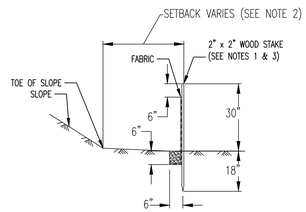
## 2 SANITARY WASTE MANAGEMENT
NOT TO SCALE

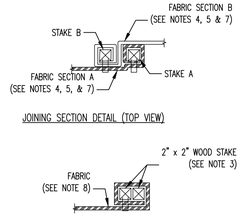



NOTES:

1. ALL STOCKPILES SHALL BE CONTAINED AND COVERED WHEN NOT ACTIVE, AND SECURED AT THE END OF EACH DAY.
2. STOCKPILES SHALL BE SECURELY COVERED OVERNIGHT, AND PRIOR TO, DURING, AND AFTER RAIN EVENTS.
3. NO MATERIAL SHALL LEAVE THE SITE OR MOVE INTO STREET.
4. PLASTIC SHEETING HAS LIMITATIONS DUE TO SUNLIGHT BREAKDOWN, HARD TO MANAGE IN WINDY CONDITIONS, AND CAN INCREASE RUNOFF ISSUE FOR PERIMETER CONTROLS. INSPECT FREQUENTLY OR USE GEOSYNTHETIC FABRIC AS APPLICABLE.
5. DO NOT LOCATE WITHIN 50 FEET OF A STORM DRAIN.

## 3 TEMPORARY COVER ON STOCKPILE
NOT TO SCALE

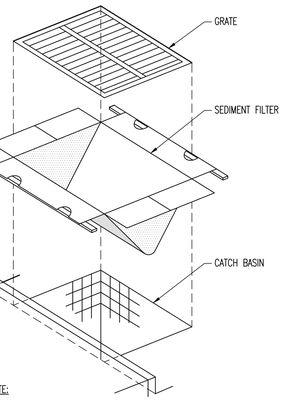



NOTES:

1. STAKE DIMENSIONS ARE NOMINAL.
2. DIMENSIONS MAY VARY TO FIT FIELD CONDITIONS.
3. STAKES SHALL BE SPACED AT 8'-0" MAXIMUM AND SHALL BE POSITIONED ON DOWNSTREAM SIDE OF FENCE.
4. STAKES TO OVERLAP AND FENCE FABRIC TO FOLD AROUND EACH STAKE AND FULL TURN. SECURE FABRIC TO STAKE WITH 4 STAPLES.
5. STAKES SHALL BE DRIVEN TIGHTLY TOGETHER TO PREVENT POTENTIAL FLOW-THROUGH OF SEDIMENT AT JOINT. THE TOPS OF THE STAKES SHALL BE SECURED WITH WIRE.
6. FOR END STAKE, FENCE FABRIC SHALL BE FOLDED AROUND TWO STAKES ONE FULL TURN AND SECURED WITH 4 STAPLES.
7. JOINING SECTIONS SHALL NOT BE PLACED AT SUMP LOCATIONS.

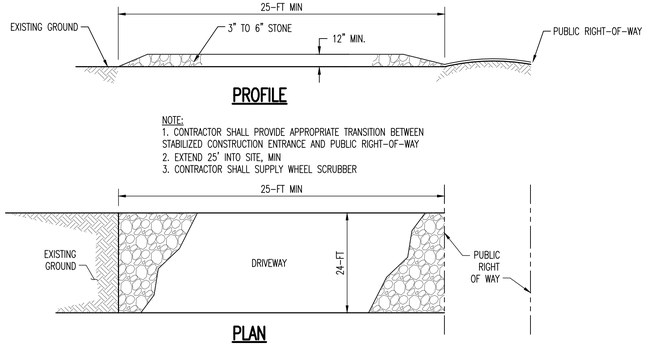
## 4 SILT FENCE
NOTES: NOT TO SCALE




NOTE:

ROLL STOCK FILTER FABRIC MAY BE USED BY PLACING FABRIC OVER ENTIRE INLET AND WEIGHT DOWN WITH GRAVEL BAGS.

## 7 INLET FILTER DETAIL
NOT TO SCALE



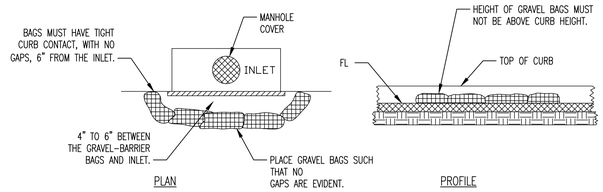

PROFILE

NOTE:
1. CONTRACTOR SHALL PROVIDE APPROPRIATE TRANSITION BETWEEN STABILIZED CONSTRUCTION ENTRANCE AND PUBLIC RIGHT-OF-WAY
2. EXTEND 25' INTO SITE, MIN
3. CONTRACTOR SHALL SUPPLY WHEEL SCRUBBER




PLAN

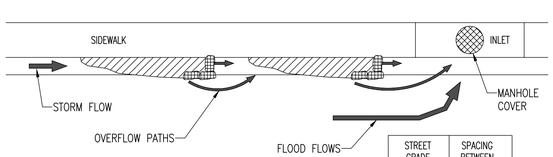
## 6 STABILIZED CONSTRUCTION ENTRANCE
NOT TO SCALE




NOTES:

1. GRAVEL BAGS SHALL CONTAIN 1" TO 2" DIAMETER ROCK CONTAINED IN PERVIOUS BURLAP BAGS OR SYNTHETIC NET BAGS ABOUT 24" LONG, 12" WIDE, AND 6" HIGH.

## 5 DRAIN INLET BARRIER
NOT TO SCALE

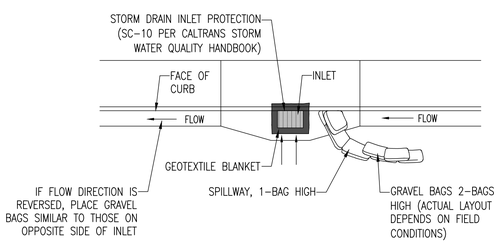



| STREET GRADE (%) | SPACING BETWEEN BAGS (FT) |
|---|---|
| 0.5 | 100 |
| 1.0 | 50 |
| 2.0 | 25 |
| 3.0 | 16 |
| 4.0 | 13 |
| 5.0 | 10 |

NOTES:

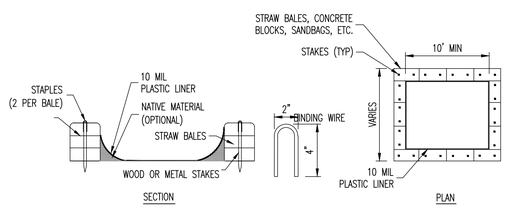
1. FILL GRAVEL BAGS ABOUT 2/3 FULL BEFORE PLACING IN THE GUTTER.
2. PLACE TWO OR MORE SETS OF GRAVEL BAGS IN A MANNER THAT RESULTS IN MAXIMUM SUPPORT. THE FLOW LINE BAG MUST BE LOWER THAN THE TOP OF THE CURB.

## 8 CURB AND GUTTER CONTAINMENT
NOT TO SCALE




PLAN VIEW

## 9 STORM DRAIN INLET PROTECTION
NOT TO SCALE




NOTES:

1. ACTUAL LAYOUT DETERMINED IN FIELD
2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 30 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY

## 10 CONCRETE WASHOUT
NOT TO SCALE

| SYM. | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| | REVISIONS | | |
| B | NEW SITE PLAN | 03-03-24 | IK |
| A | FOR REVIEW | 02-21-23 | IK |

REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
NO. C68621
Exp. 09-30-25
CIVIL
STATE OF CALIFORNIA

MODERN TECHNOLOGY RESOURCES INC.
415.602.2290

700 GEORGE ST @ BIRCH ST
MONTARA, CA 94037
APN: 036-103-620

# EROSION CONTROL DETAILS

| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 11 OF 15 |

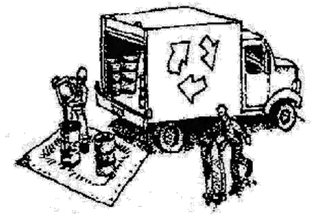
C3.1

SAN MATEO COUNTYWIDE
Water Pollution Prevention Program
Clean Water. Healthy Community.

# Construction Best Management Practices (BMPs)

Construction projects are required to implement the stormwater best management practices (BMP) on this page, as they apply to your project, all year long.

## Materials & Waste Management



**Non-Hazardous Materials**

- ❑ Berm and cover stockpiles of sand, dirt or other construction material with tarps when rain is forecast or if not actively being used within 14 days.
- ❑ Use (but don't overuse) reclaimed water for dust control.

**Hazardous Materials**

- ❑ Label all hazardous materials and hazardous wastes (such as pesticides, paints, thinners, solvents, fuel, oil, and antifreeze) in accordance with city, county, state and federal regulations.
- ❑ Store hazardous materials and wastes in water tight containers, store in appropriate secondary containment, and cover them at the end of every work day or during wet weather or when rain is forecast.
- ❑ Follow manufacturer's application instructions for hazardous materials and be careful not to use more than necessary. Do not apply chemicals outdoors when rain is forecast within 24 hours.
- ❑ Arrange for appropriate disposal of all hazardous wastes.

**Waste Management**

- ❑ Cover waste disposal containers securely with tarps at the end of every work day and during wet weather.
- ❑ Check waste disposal containers frequently for leaks and to make sure they are not overfilled. Never hose down a dumpster on the construction site.
- ❑ Clean or replace portable toilets, and inspect them frequently for leaks and spills.
- ❑ Dispose of all wastes and debris properly. Recycle materials and wastes that can be recycled (such as asphalt, concrete, aggregate base materials, wood, gyp board, pipe, etc.)
- ❑ Dispose of liquid residues from paints, thinners, solvents, glues, and cleaning fluids as hazardous waste.

**Construction Entrances and Perimeter**

- ❑ Establish and maintain effective perimeter controls and stabilize all construction entrances and exits to sufficiently control erosion and sediment discharges from site and tracking off site.
- ❑ Sweep or vacuum any street tracking immediately and secure sediment source to prevent further tracking. Never hose down streets to clean up tracking.

## Equipment Management & Spill Control

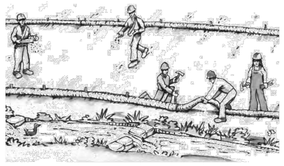
**Maintenance and Parking**

- ❑ Designate an area, fitted with appropriate BMPs, for vehicle and equipment parking and storage.
- ❑ Perform major maintenance, repair jobs, and vehicle and equipment washing off site.
- ❑ If refueling or vehicle maintenance must be done onsite, work in a bermed area away from storm drains and over a drip pan or drop cloths big enough to collect fluids. Recycle or dispose of fluids as hazardous waste.
- ❑ If vehicle or equipment cleaning must be done onsite, clean with water only in a bermed area that will not allow rinse water to run into gutters, streets, storm drains, or surface waters.
- ❑ Do not clean vehicle or equipment onsite using soaps, solvents, degreasers, or steam cleaning equipment.

**Spill Prevention and Control**

- ❑ Keep spill cleanup materials (e.g., rags, absorbents and cat litter) available at the construction site at all times.
- ❑ Inspect vehicles and equipment frequently for and repair leaks promptly. Use drip pans to catch leaks until repairs are made.
- ❑ Clean up spills or leaks immediately and dispose of cleanup materials properly.
- ❑ Do not hose down surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags).
- ❑ Sweep up spilled dry materials immediately. Do not try to wash them away with water, or bury them.
- ❑ Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- ❑ Report significant spills immediately. You are required by law to report all significant releases of hazardous materials, including oil. To report a spill: 1) Dial 911 or your local emergency response number, 2) Call the Governor's Office of Emergency Services Warning Center, (800) 852-7550 (24 hours).

## Earthmoving

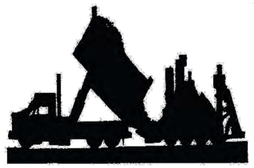


- ❑ Schedule grading and excavation work during dry weather.
- ❑ Stabilize all denuded areas, install and maintain temporary erosion controls (such as erosion control fabric or bonded fiber matrix) until vegetation is established.
- ❑ Remove existing vegetation only when absolutely necessary, and seed or plant vegetation for erosion control on slopes or where construction is not immediately planned.
- ❑ Prevent sediment from migrating offsite and protect storm drain inlets, gutters, ditches, and drainage courses by installing and maintaining appropriate BMPs, such as fiber rolls, silt fences, sediment basins, gravel bags, berms, etc.
- ❑ Keep excavated soil on site and transfer it to dump trucks on site, not in the streets.

**Contaminated Soils**

- ❑ If any of the following conditions are observed, test for contamination and contact the Regional Water Quality Control Board:
  - Unusual soil conditions, discoloration, or odor.
  - Abandoned underground tanks.
  - Abandoned wells
  - Buried barrels, debris, or trash.

## Paving/Asphalt Work



- ❑ Avoid paving and seal coating in wet weather or when rain is forecast, to prevent materials that have not cured from contacting stormwater runoff.
- ❑ Cover storm drain inlets and manholes when applying seal coat, tack coat, slurry seal, fog seal, etc.
- ❑ Collect and recycle or appropriately dispose of excess abrasive gravel or sand. Do NOT sweep or wash it into gutters.
- ❑ Do not use water to wash down fresh asphalt concrete pavement.

**Sawcutting & Asphalt/Concrete Removal**

- ❑ Protect nearby storm drain inlets when saw cutting. Use filter fabric, catch basin inlet filters, or gravel bags to keep slurry out of the storm drain system.
- ❑ Shovel, abosorb, or vacuum saw-cut slurry and dispose of all waste as soon as you are finished in one location or at the end of each work day (whichever is sooner!).
- ❑ If sawcut slurry enters a catch basin, clean it up immediately.

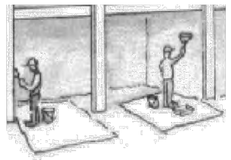
## Concrete, Grout & Mortar Application


- ❑ Store concrete, grout, and mortar away from storm drains or waterways, and on pallets under cover to protect them from rain, runoff, and wind.
- ❑ Wash out concrete equipment/trucks offsite or in a designated washout area, where the water will flow into a temporary waste pit, and in a manner that will prevent leaching into the underlying soil or onto surrounding areas. Let concrete harden and dispose of as garbage.
- ❑ When washing exposed aggregate, prevent washwater from entering storm drains. Block any inlets and vacuum gutters, hose washwater onto dirt areas, or drain onto a bermed surface to be pumped and disposed of properly.

## Landscaping

- ❑ Protect stockpiled landscaping materials from wind and rain by storing them under tarps all year-round.
- ❑ Stack bagged material on pallets and under cover.
- ❑ Discontinue application of any erodible landscape material within 2 days before a forecast rain event or during wet weather.

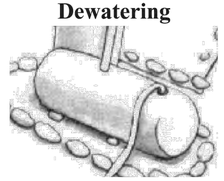
## Painting & Paint Removal



**Painting Cleanup and Removal**

- ❑ Never clean brushes or rinse paint containers into a street, gutter, storm drain, or stream.
- ❑ For water-based paints, paint out brushes to the extent possible, and rinse into a drain that goes to the sanitary sewer. Never pour paint down a storm drain.
- ❑ For oil-based paints, paint out brushes to the extent possible and clean with thinner or solvent in a proper container. Filter and reuse thinners and solvents. Dispose of excess liquids as hazardous waste.
- ❑ Paint chips and dust from non-hazardous dry stripping and sand blasting may be swept up or collected in plastic drop cloths and disposed of as trash.
- ❑ Chemical paint stripping residue and chips and dust from marine paints or paints containing lead, mercury, or tributyltin must be disposed of as hazardous waste. Lead based paint removal requires a state-certified contractor.

## Dewatering



- ❑ Discharges of groundwater or captured runoff from dewatering operations must be properly managed and disposed. When possible send dewatering discharge to landscaped area or sanitary sewer. If discharging to the sanitary sewer call your local wastewater treatment plant.
- ❑ Divert run-on water from offsite away from all disturbed areas.
- ❑ When dewatering, notify and obtain approval from the local municipality before discharging water to a street gutter or storm drain. Filtration or diversion through a basin, tank, or sediment trap may be required.
- ❑ In areas of known or suspected contamination, call your local agency to determine whether the ground water must be tested. Pumped groundwater may need to be collected and hauled off-site for treatment and proper disposal.

**Storm drain polluters may be liable for fines of up to $10,000 per day!**

1 / - CONSTRUCTION BMP PLAN SHEET
NO SCALE

| SYM | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| A | FOR REVIEW | 02-21-23 | IK |
| B | NEW SITE PLAN | 03-03-24 | IK |

REVISIONS

REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
NO. C68621
Exp. 09-30-25
CIVIL
STATE OF CALIFORNIA

MODERN TECHNOLOGY RESOURCES INC.
415.602.2290

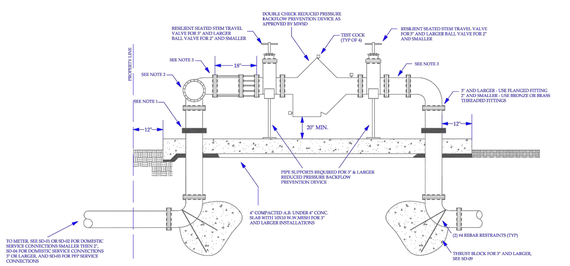
700 GEORGE ST @ BIRCH ST
MONTARA, CA 94037
APN: 036-103-620

CONSTRUCTION BMP

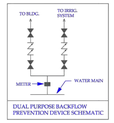
| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 12 OF 15 |

C3.2

| ZONE | REV | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|---|
| | 1 | REVISION 1 | MAY 2011 | TY |
| | 2 | REVISION 2 | OCT 2011 | TY |
| | 3 | REVISION 3 | MAR 2018 | TY |




NOT TO SCALE




DUAL PURPOSE BACKFLOW PREVENTION DEVICE SCHEMATIC

**NOTES**

1. FOR 2" AND SMALLER, INSTALL UNION JOINTS ON BRASS RISER PIPE.
2. INSTALL 90° ELBOW FOR SINGLE PURPOSE BACKFLOW PREVENTION DEVICE INSTALLATION AND INSTALL TEE FOR DUAL PURPOSE BACKFLOW PREVENTION DEVICE INSTALLATION.
3. INSTALL FLANGED COUPLING ADAPTER AND SPOOL PIECE IF REQUIRED FOR FIELD INSTALLATION.
4. GATE VALVES OR BALL VALVES NORMALLY COME AS PART OF BACKFLOW PREVENTION DEVICE, READY FOR INSTALLATION FROM MANUFACTURER.
5. THE APPROVED BACKFLOW PREVENTION DEVICE IS TO BE INSTALLED AS CLOSE AS POSSIBLE TO THE WATER METER WITH NO CROSS CONNECTIONS BETWEEN THE WATER METER AND BACKFLOW PREVENTION DEVICE.

MONTARA WATER AND SANITARY DISTRICT

**BACKFLOW PREVENTION DEVICE INSTALLATION DETAIL**

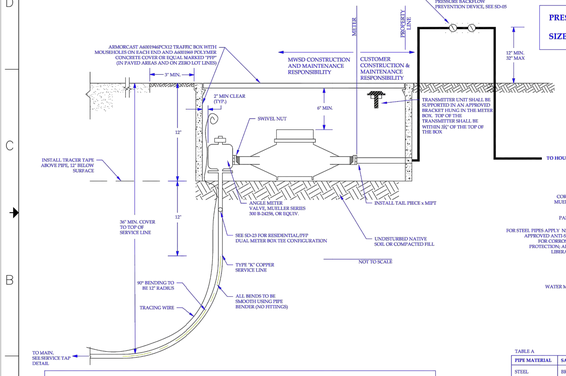
SIZE | FSCM NO. | DWG NO. SD-05 | REV

SCALE NONE | DATE: DEC 2006 | SHEET

| ZONE | REV | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|---|
| | 1 | REVISION 1 | MAY 2011 | TY |
| | 2 | REVISION 2 | OCT 2011 | TY |
| | 3 | REVISION 3 | MAR 2018 | TY |

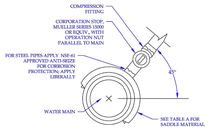
**PRESSURE OF MAIN: _____**

**SIZE OF MAIN: _____**




**NOTES:**

1. ALL PFP WATER METERS SHALL BE FURNISHED BY THE DISTRICT AT THE OWNER'S EXPENSE.
2. PFP'S WITH BOOSTER PUMPS SHALL INCORPORATE A PRESSURE SUSTAINING VALVE UPSTREAM OF THE PUMP SET SO THE PUBLIC WATER SYSTEM PRESSURE SHALL NEVER DROP BELOW 20 PSI. SUBMIT DESIGN FOR MWSD APPROVAL PRIOR TO INSTALLATION.
3. CONNECTION TO MWSD MAIN, MATERIALS USED IN CONSTRUCTION, LOCATION OF METER BOX SHALL BE IN ACCORDANCE WITH MWSD STANDARDS AND SPECIFICATIONS.
4. ALL PFP METERS SHALL BE BADGER METERS AND SHALL COMPLY WITH THE DISTRICTS STANDARDS AND SPECIFICATIONS.
5. ALL PIPING SHALL BE TYPE "K" COPPER.
6. ALL FITTINGS AND VALVES SHALL BE BRONZE, AND SHALL BE CONNECTED USING COMPRESSION FITTINGS.
7. BRONZE THREADED BUSHINGS SHALL BE USED FOR A REDUCERS.




**SERVICE TAP DETAIL**

NOT TO SCALE

TABLE A

| PIPE MATERIAL | SADDLE MATERIAL | MODEL |
|---|---|---|
| STEEL | BRONZE | ROMAC 202 SS OR APPROVED EQUIVALENT |
| AC, PVC, DI, CI | BRONZE | MUELLER H323 & H839 SERIES OR APPROVED EQUIVALENT |

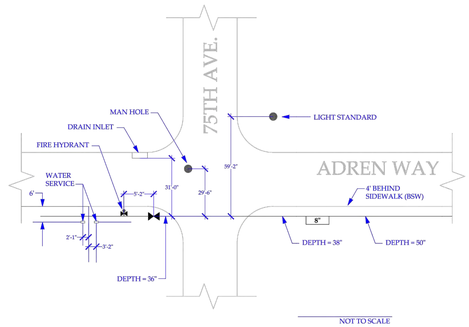
MONTARA WATER AND SANITARY DISTRICT

**RESIDENTIAL DOMESTIC-FIRE SPRINKLER SERVICE ( WITH BACKFLOW PREVENTION DEVICE )**

SIZE | FSCM NO. | DWG NO. SD-11 | REV

SCALE NONE | DATE: DEC 2006 | SHEET

| ZONE | REV | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|---|
| | 1 | REVISION 1 | MAY 2011 | TY |




NOT TO SCALE

**SAMPLE TITLE BLOCK**

CONTRACTOR'S NAME

SCALE | DATE

PROJECT TITLE

AS BUILT / 162 # NUMBER

NOTES

1. ALL MAIN VALVES TO HAVE A MINIMUM OF THREE MEASUREMENTS FROM PERMANENT FIXTURES.
2. ALL WATER SERVICES TO HAVE A MINIMUM OF TWO MEASUREMENTS FROM PROPERTY LINE AND BACK OF SIDEWALK.
3. ALL DRAWINGS ARE TO BE DONE ON VELLUM OR TRACING PAPER FOR REPRODUCTIONS.
4. DEPTHS OF COVER TO BE SHOWN WHEN LESS THAN 36" OR MORE AND AT GUTTER FLOW LINES WHEN CROSSED.
5. HYDRANT NUMBERS MUST BE INCLUDED ON ALL AS-BUILT DRAWINGS AS NUMBERED ON PROJECT SITE.
6. WATER MAIN ANGLE POINTS (FITTINGS) SHALL BE SHOWN, MEASURED AND LABELED (I.E., 45°, 22.5°, 11.25°).

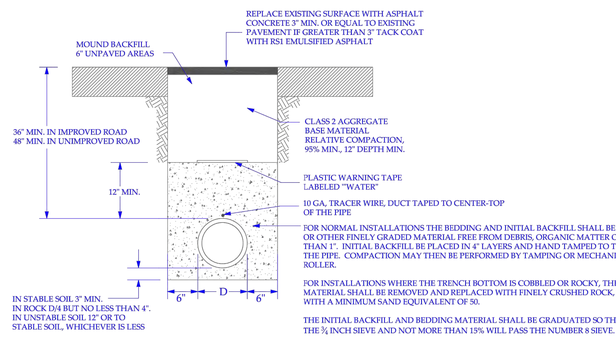
MONTARA WATER AND SANITARY DISTRICT

**SAMPLE AS-BUILT**

SIZE | FSCM NO. | DWG NO. SD-17 | REV

SCALE NONE | DATE: DEC 2006 | SHEET

| ZONE | REV | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|---|
| | 1 | REVISION 1 | MAY 2011 | TY |
| | 2 | REVISION 2 | MAR 2018 | TY |




FOR NORMAL INSTALLATIONS THE BEDDING AND INITIAL BACKFILL SHALL BE SAND, FINE EARTH OR OTHER FINELY GRADED MATERIAL FREE FROM DEBRIS, ORGANIC MATTER OR PIECES LARGER THAN 1". INITIAL BACKFILL BE PLACED IN 4" LAYERS AND HAND TAMPED TO THE SPRING LINE OF THE PIPE. COMPACTION MAY THEN BE PERFORMED BY TAMPING OR MECHANICAL PLATE OR ROLLER.

FOR INSTALLATIONS WHERE THE TRENCH BOTTOM IS COBBLED OR ROCKY, THE UNSUITABLE MATERIAL SHALL BE REMOVED AND REPLACED WITH FINELY CRUSHED ROCK, GRAVEL OR SAND WITH A MINIMUM SAND EQUIVALENT OF 50.

THE INITIAL BACKFILL AND BEDDING MATERIAL SHALL BE GRADUATED SO THAT 100% WILL PASS THE ¾ INCH SIEVE AND NOT MORE THAN 15% WILL PASS THE NUMBER 8 SIEVE.

NOT TO SCALE

**NOTES:**

1. ANY OVEREXCAVATION SHALL BE BACKFILLED WITH APPROVED BEDDING MATERIAL.
2. ALL OF THE WORK SHALL MEET SAN MATEO COUNTY AND MWSD REQUIREMENTS.
3. ALL OF THE WORK SHALL BE DONE ACCORDING TO CALIFORNIA OSHA REQUIREMENTS.
4. ALL SPOILS SHALL BE DISPOSED OF IN ACCORDANCE WITH SECTION D.01(C).

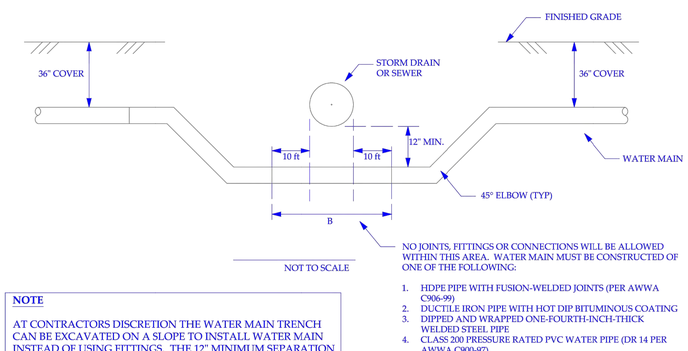
MONTARA WATER AND SANITARY DISTRICT

**STANDARD TRENCH DETAIL**

SIZE | FSCM NO. | DWG NO. SD-18 | REV

SCALE NONE | DATE: DEC 2006 | SHEET

| ZONE | REV | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|---|
| | 1 | REVISION 1 | MAY 2011 | TY |
| | 2 | REVISION 2 | MAR 2018 | TY |




NOT TO SCALE

NO JOINTS, FITTINGS OR CONNECTIONS WILL BE ALLOWED WITHIN THIS AREA. WATER MAIN MUST BE CONSTRUCTED OF ONE OF THE FOLLOWING:

1. HDPE PIPE WITH FUSION-WELDED JOINTS (PER AWWA C906-99)
2. DUCTILE IRON PIPE WITH HOT DIP BITUMINOUS COATING
3. DIPPED AND WRAPPED ONE-FOURTH-INCH-THICK WELDED STEEL PIPE
4. CLASS 200 PRESSURE RATED PVC WATER PIPE (DR 14 PER AWWA C900-97)
5. REINFORCED CONCRETE PRESSURE PIPE, STEEL CYLINDER TYPE, PER AWWA (C300-97 OR C301-99 OR C303-95)

**NOTE**

AT CONTRACTORS DISCRETION THE WATER MAIN TRENCH CAN BE EXCAVATED ON A SLOPE TO INSTALL WATER MAIN INSTEAD OF USING FITTINGS. THE 12" MINIMUM SEPARATION AND "B" MEASUREMENT MUST BE MAINTAINED IN EITHER METHOD OF INSTALLATION.

REFERENCE:
DEPT. OF HEALTH SERVICES "WATER MAIN SEPARATION" 2015. SECTION 64572, TITLE 22, CALIFORNIA ADMINISTRATIVE CODE.

MONTARA WATER AND SANITARY DISTRICT

**WATER MAIN INSTALLATION UNDER STORM DRAIN AND SEWER**

SIZE | FSCM NO. | DWG NO. SD-19 | REV

SCALE NONE | DATE: DEC 2006 | SHEET

| ZONE | REV | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|---|
| | 1 | REVISION 1 | MAY 2011 | TY |

## REQUIRED SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS

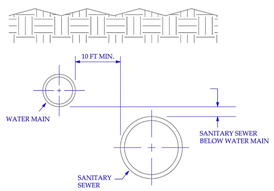
**BASIC SEPARATION REQUIREMENTS:**

WATER MAIN AND SEWERS SHOULD BE SEPARATED AS FAR AS IS REASONABLE IN BOTH THE HORIZONTAL AND VERTICAL DIRECTIONS WITH SEWERS ALWAYS LOWER THEN WATER MAINS.

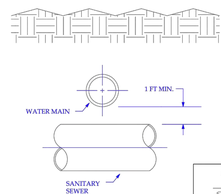
PARALLEL CONSTRUCTION: THE HORIZONTAL DISTANCE BETWEEN WATER MAINS AND SEWERS SHALL BE AT LEAST 10 FEET.

PERPENDICULAR CONSTRUCTION (CROSSING): WATER MAINS SHALL BE AT LEAST 1 FOOT ABOVE SANITARY SEWERS WHERE THESE LINES MUST CROSS. PIPE SHALL BE INSTALLED AS TO MAXIMIZE DISTANCES BETWEEN THE WATER AND SEWER PIPE JOINTS.

PARALLEL CONSTRUCTION




PERPENDICULAR CONSTRUCTION




NOT TO SCALE

MONTARA WATER AND SANITARY DISTRICT

**REQUIRED SEPARATION BETWEEN WATER MAINS AND SANITARY SEWERS**

SIZE | FSCM NO. | DWG NO. SD-20 | REV

SCALE NONE | DATE: DEC 2006 | SHEET

| SYM | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| A | FOR REVIEW | 02-21-23 | IK |
| B | NEW SITE PLAN | 03-03-24 | IK |

REVISIONS

REGISTERED PROFESSIONAL ENGINEER — IGOR M. KLEYNER — NO. C68621 — Exp. 09-30-25 — CIVIL — STATE OF CALIFORNIA

**MODERN TECHNOLOGY RESOURCES INC.**
**415.602.2290**

**700 GEORGE ST @ BIRCH ST**
**MONTARA, CA 94037**
**APN: 036-103-620**

# WATER SERVICE DETAILS

DATE FEBRUARY 2023
SCALE AS SHOWN
DESIGN IK
DRAWN IK
PROJECT# 23001
SHEET 13 OF 15

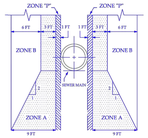
**C4.0**

| ZONE | REV | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|---|
| | 1 | REVISION 1 | MAY 2011 | TY |

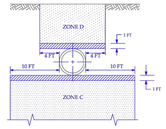
# SPECIAL CONSTRUCTION REQUIREMENTS

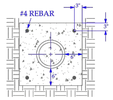
WHERE REQUIRED WATER MAIN SEPARATION FROM SANITARY SEWER CANNOT BE MAINTAINED

## PARALLEL CONSTRUCTION




## PERPENDICULAR CONSTRUCTION




CONCRETE SHALL BE CLASS B (CALIF. DEPT. OF TRANSPORTATION STD. SPECIFICATIONS, SECTION 90, CURRENT ISSUE) OR EQUIVALENT

NOT TO SCALE

IF THE PROPOSED WATER MAIN IS LOCATED WITHIN ZONES A, B, C, OR D OF A SEWER MAIN, THE FOLLOWING SPECIAL REQUIREMENTS APPLY:

ZONE A NO WATER MAINS PARALLEL TO SANITARY SEWER MAINS SHALL BE CONSTRUCTED WITHOUT PRIOR WRITTEN APPROVAL FROM THE DEPARTMENT OF HEALTH SERVICES.

ZONE B WATER MAIN IN THIS AREA SHOULD BE CONSTRUCTED OF CLASS 200 PRESSURE RATED PVC WATER PIPE (DR 14 PER AWWA C900-97).

ZONE C WATER MAIN IN THIS AREA SHOULD HAVE NO JOINTS AND BE CONSTRUCTED OF CLASS 200 PRESSURE RATED PVC WATER PIPE (DR 14 PER AWWA C900-97).

ZONE D THE WATER MAIN SHOULD HAVE NO JOINTS WITHIN FOUR FEET FROM EITHER SIDE OF THE SEWER MAIN AND SHOULD BE CONSTRUCTED OF CLASS 200 PRESSURE RATED PVC WATER PIPE (DR 14 PER AWWA C900-97).

ZONE P PROHIBITED ZONE. NO WATER MAIN SHOULD BE CONSTRUCTED IN THIS AREA.

MONTARA WATER AND SANITARY DISTRICT

SPECIAL CONSTRUCTION REQUIREMENTS FOR WATER MAINS

SIZE | FSCM NO. | DWG NO. | REV

SD-21

SCALE: NONE | DATE: DEC 2006 | SHEET

| ZONE | REV | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|---|
| | 1 | REVISION 1 | MAY 2011 | TY |
| | 2 | REVISION 2 | MAR 2018 | TY |

**NOTES:**

1. ALL INSTALLATIONS SHALL BE IN ACCORDANCE WITH MONTARA WATER AND SANITARY DISTRICT STANDARDS AND SPECIFICATIONS.
2. MINIMUM DISTANCE BETWEEN SANITARY SEWER AND WATER MAINS SHALL BE TEN FEET (10') HORIZONTALLY OR IN COMPLIANCE WITH DPH TITLE 22, CHAPTER 16, SECTION 64572.
3. WATER MAIN PIPE SHALL BE C-900 CLASS 200 PLASTIC PIPE OR AS APPROVED BY MWSD WATER ENGINEER.
4. ALL ¾", 1", 1 ½", AND 2" SERVICE LINES TO BE TYPE "K" COPPER PIPE UNLESS SURROUNDING GROUND CONDITIONS DICTATE CHANGE (SUBJECT TO APPROVAL BY MWSD WATER ENGINEER).
5. ALL VALVES SHALL BE RESILIENT WEDGE EPOXY COATED WITH STAINLESS STEL BOLTS.
6. ALL FITTINGS SHALL BE CEMENT LINED AND BITUMINOUS COATED OUTSIDE AND PAINTED WITH POLYGUARD C.A. #14 MASTIC.
7. ALL FLANGE FITTINCS TO BE BOLTED TOGETHER WITH 316 STAINLESS STEEL NUTS AND BOLTS.
8. ALL INSTALLATIONS OF MAINS AND SERVICES SHALL HAVE BLUE COATED #10 GA. STANDARD WIRE FOR LOCATING.
9. ALL TAPPING SLEEVES TO BE ALL STAINLESS STEEL CIRCUMFERENTIAL SEAL TYPE WITH STAINLESS STEEL FLANGE, BOLTS, AND NUTS.
10. USE EBAA MECHANICAL JOINT MEGA-LUGS ON ALL MECHANICAL JOINT FITTINGS.
11. USE EBAA SERIES 1600 RESTRAINTS TO RESTRAIN PIPE IN COMBINATION WITH CONCRETE THRUST BLOCKS. MWSD TO ADVISE CONTRACTOR OF REQ'D. LENGTHS OF PIPE TO BE RESTRAINED.

MONTARA WATER AND SANITARY DISTRICT

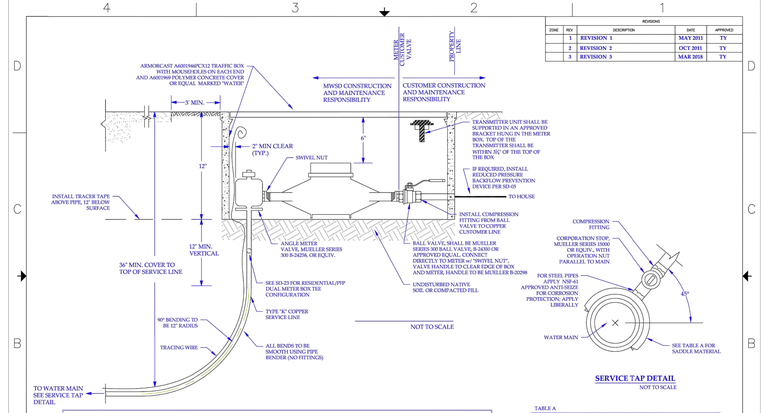
FACILITY STANDARDS

SIZE | FSCM NO. | DWG NO. | REV

SD-22

SCALE: NONE | DATE: DEC 2006 | SHEET

| ZONE | REV | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|---|
| | 1 | REVISION 1 | MAY 2011 | TY |
| | 2 | REVISION 2 | OCT 2011 | TY |
| | 3 | REVISION 3 | MAR 2018 | TY |




**SERVICE TAP DETAIL**

NOT TO SCALE

**NOTES:**

1. ¾"x¾" SERVICES: MWSD WILL SUPPLY AND INSTALL BADGER METER MODEL 25, RTR REGISTERED WITH PRE-WIRED ORION TRANSMITTER WITH PROFILE READING, READ IN CU-FT
2. ¾"x¾" SERVICES: MWSD WILL SUPPLY AND INSTALL BADGER METER MODEL 35, RTR REGISTERED WITH PRE-WIRED ORION TRANSMITTER WITH PROFILE READING, READ IN CU-FT
3. 1" SERVICES: MWSD WILL SUPPLY AND INSTALL BADGER METER MODEL 70, RTR REGISTERED WITH PRE-WIRED ORION TRANSMITTER WITH PROFILE READING, READ IN CU-FT
5. ALL PIPING SHALL BE TYPE "K" COPPER
6. ALL FITTINGS AND VALVES SHALL BE BRONZE, AND SHALL BE CONNECTED USING COMPRESSION FITTINGS
7. BRONZE THREADED BUSHINGS SHALL BE USED FOR A REDUCERS

TABLE A

| PIPE MATERIAL | SADDLE MATERIAL | MODEL |
|---|---|---|
| STEEL | BRONZE | ROMAC 202 BS OR APPROVED EQUIVALENT |
| AC, PVC, DI, CI | BRONZE | MUELLER H828 & H82W SERIES OR APPROVED EQUIVALENT |

MONTARA WATER AND SANITARY DISTRICT

¾" TO 1" METERED SERVICE INSTALLATION (FOR DOMESTIC SERVICE CONNECTION ONLY)

SIZE | FSCM NO. | DWG NO. | REV

SD-01

SCALE: NONE | DATE: DEC 2006 | SHEET

REVISIONS

| SYM | DESCRIPTION | DATE | APPROVED |
|---|---|---|---|
| A | FOR REVIEW | 02-21-23 | IK |
| B | NEW SITE PLAN | 03-03-24 | IK |

REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
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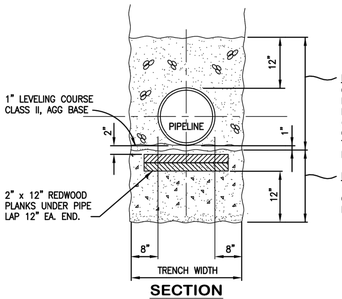
APN: 036-103-620

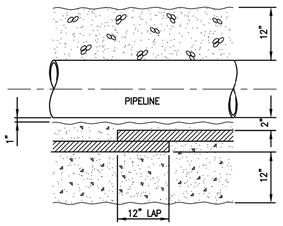
# WATER SERVICE DETAILS

DATE: FEBRUARY 2023
SCALE: AS SHOWN
DESIGN: IK
DRAWN: IK
PROJECT#: 23001
SHEET: 14 OF 15

**C4.1**




SECTION

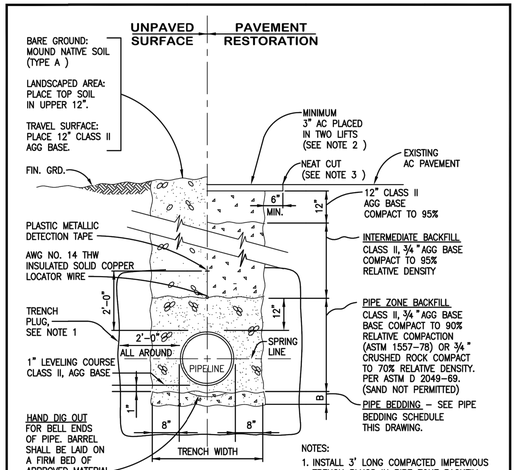



ELEVATION

**MONTARA WATER & SANITARY DISTRICT**

BAY MUD TRENCH DETAIL

2017 | | SD 4.1




PIPE BEDDING DETAIL

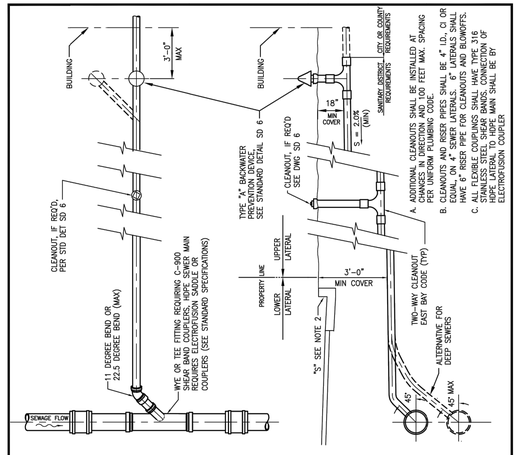
| PIPE BEDDING SCHEDULE | | |
|---|---|---|
| TRENCH MATERIAL | BEDDING DEPTH – B | BEDDING MATERIAL |
| SOIL – DRY | 6" | ¾ " CRUSHED ROCK OR CLASS II, AGG BASE |
| SOIL W/ WATER | 12" | 1 ½ " CRUSHED ROCK |
| ROCK OR HARD PAN – DRY | 6" | ¾ " CRUSHED ROCK OR CLASS II AGG BASE |
| ROCK OR HARD PAN W/ WATER | 6" | 1 ½ " CRUSHED ROCK |
| BAY MUD | SEE BAY MUD TRENCH DETAIL DRAWING SD 4.1 | |

NOTES:
1. INSTALL 3' LONG COMPACTED IMPERVIOUS TRENCH PLUGS IN PIPE ZONE BACKFILL AND PIPE BEDDING AT 100' INTERVALS.
2. ASPHALT THICKNESS SHALL CONFORM TO THE REQUIREMENTS OF THE AGENCY WITH JURISDICTION OVER STREET.
3. CONSULT LOCAL JURISDICTION FOR ASPHALT CUTTING REQUIREMENTS.

**MONTARA WATER & SANITARY DISTRICT**

TYPICAL TRENCH SECTION

2017 | | SD 4.0

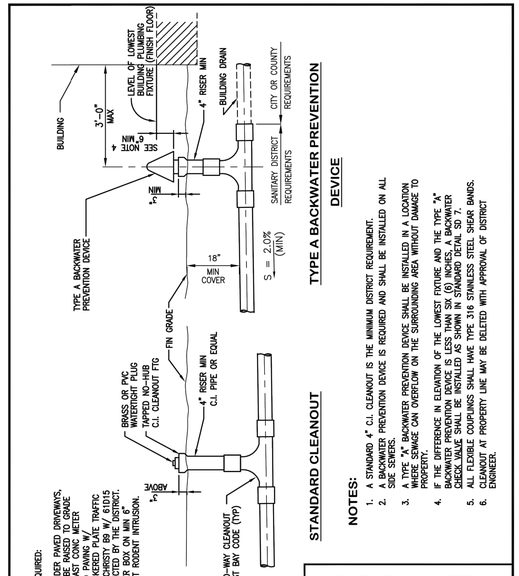



NOTES:
1. WHEN A LATERAL SEWER IS INSTALLED IN ADVANCE OF THE BUILDING SEWER, IT SHALL BE TERMINATED AT OR NEAR THE PROPERTY LINE. THE END OF THE LATERAL SHALL BE MARKED WITH A 4" x 4" REDWOOD STAKE, PAINTED GREEN, FROM THE TOP OF THE PIPE TO A MINIMUM OF 6" ABOVE THE FINISHED GROUND SURFACE.
2. WHERE CONCRETE CURBS AND GUTTERS EXIST OR ARE TO BE A PART OF AN IMPROVEMENT, EACH SIDE SEWER SHALL BE PERMANENTLY LOCATED BY IMPRINTING OR CHISELING AN "S" ( 3" size) IN THE FACE OF THE CURB VERTICALLY ABOVE THE SEWER PIPE.
3. BACKFILL SHALL NOT BE PLACED UNTIL PIPE INSTALLATION HAS BEEN INSPECTED AND APPROVED BY THE DISTRICT. PIPE BEDDING 3" AROUND PIPE ON PRIVATE PROPERTY MAY BE SAND WHERE REQUIRED BY COUNTY BUILDING PERMIT.
4. TYPE A BACKWATER PREVENTION DEVICE (CONTRA COSTA RELIEF VALVE, ALSO KNOWN AS MUSHROOM CAP) SHALL BE INSTALLED ON A 4" MINIMUM RISER PIPE NOT MORE THAN 2' FROM BUILDING WALL, PER STANDARD DETAIL SD6.
5. TYPE A BACKWATER PREVENTION DEVICE MAY BE INSTALLED TO LEFT OR RIGHT SIDE OF LATERAL IN GARAGE OR STEP AREAS.
6. LATERAL TRENCHES IN AREA OF PUBLIC STREET CURB, GUTTER AND SIDEWALK SHALL BE COMPACTED THE SAME AS TYPICAL TRENCH DETAIL SD 4. AREAS AROUND NEW CONCRETE CLEAN-OUT BOXES SHALL BE SOILS TESTED TO 90% COMPACTED. CONTRACTOR IS TO USE WHATEVER MEANS NECESSARY TO ACHIEVE 90% COMPACTION.
7. A. ADDITIONAL CLEANOUTS SHALL BE INSTALLED AT MAXIMUM 100 FEET MAX. SPACING PER UNIFORM PLUMBING CODE.
B. CLEANOUTS AND RISER PIPES SHALL BE 4" I.D., O OR GALVANIZED STEEL PIPE. CLEANOUTS SHALL HAVE 4" RISER PIPE FOR CLEANOUTS AND BLOWOFFS.
C. ALL FLEXIBLE COUPLINGS SHALL HAVE TYPE 316 STAINLESS STEEL SHEAR BANDS. CONNECTION OF NEW LATERAL TO EXISTING MAIN SHALL BE BY ELECTROFUSION COUPLER

**MONTARA WATER & SANITARY DISTRICT**

TYPICAL SIDE SEWER DETAILS

2017 | | SD 5




CLEANOUT BOXES IF REQUIRED:
CLEANOUTS LOCATED UNDER PAVED DRIVEWAYS, WALKWAYS, ETC. SHALL BE RAISED TO GRADE AND INSTALLED IN PRECAST CONC. METER BOXES WITH TRAFFIC LIDS. BOXES SHALL BE CHECKERED PLATE TRAFFIC LIDS MARKED "SEWER", CHRISTY B9 W/ 61D15 LID, OR EQUAL, AS DIRECTED BY THE DISTRICT. LIDS SHALL BE LOCKED AND HAVE A HOLE TO DRAIN ROCK TO PREVENT RODENT INTRUSION.

**STANDARD CLEANOUT**

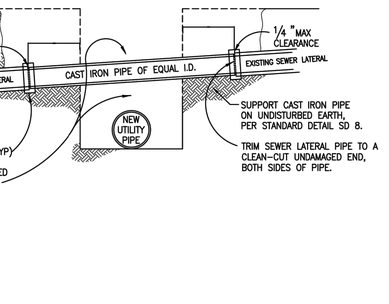
## TYPE A BACKWATER PREVENTION DEVICE

NOTES:
1. A STANDARD 4" C.I. CLEANOUT IS THE MINIMUM DISTRICT REQUIREMENT.
2. A BACKWATER PREVENTION DEVICE IS REQUIRED AND SHALL BE INSTALLED ON ALL SEWER LATERALS.
3. A TYPE "A" BACKWATER PREVENTION DEVICE SHALL BE INSTALLED IN A LOCATION WHERE SEWAGE CAN OVERFLOW ON THE SURROUNDING AREA WITHOUT DAMAGE TO PROPERTY.
4. IF THE DIFFERENCE IN ELEVATION OF THE LOWEST FIXTURE AND THE TYPE "A" BACKWATER PREVENTION DEVICE IS LESS THAN 12", A BACKWATER CHECK VALVE SHALL BE INSTALLED AS SHOWN IN STANDARD DETAIL SD 7.
5. ALL FLEXIBLE COUPLINGS SHALL HAVE TYPE 316 STAINLESS STEEL SHEAR BANDS.
6. CLEANOUT AT PROPERTY LINE MAY BE DELETED WITH APPROVAL OF DISTRICT ENGINEER.

**MONTARA WATER & SANITARY DISTRICT**

STANDARD CLEANOUT AND BACKWATER PREVENTION DEVICE

2017 | | SD 6

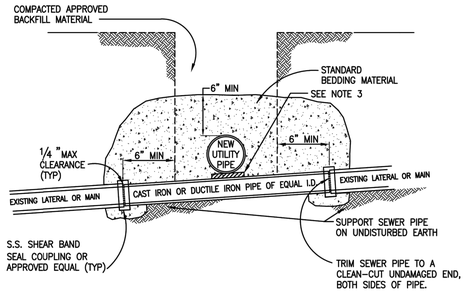



NOTES:
1. SEWER PROTECTION, AS DETAILED HEREON, SHALL BE PROVIDED WHEN A NEW UTILITY PIPE, 12" OR LARGER, IS INSTALLED BELOW AN EXISTING SEWER LATERAL.
2. BACKFILL SHALL NOT BE PLACED UNTIL PIPE INSTALLATION HAS BEEN INSPECTED AND APPROVED BY DISTRICT.
3. WHEN THE OUTSIDE DIAMETER OF THE PIPES ARE WITHIN 1" OF THE OTHER THERE SHALL BE A 4" x 4" PAD OF 35-45 DUROMETER RUBBER PLACED SNUGLY BETWEEN PIPES.
4. IF UTILITY IS A WATER MAIN, SEE SD 10.1

**MONTARA WATER & SANITARY DISTRICT**

SEWER LATERAL PROTECTION ABOVE UTILITY CROSSING

2017 | | SD 10.0

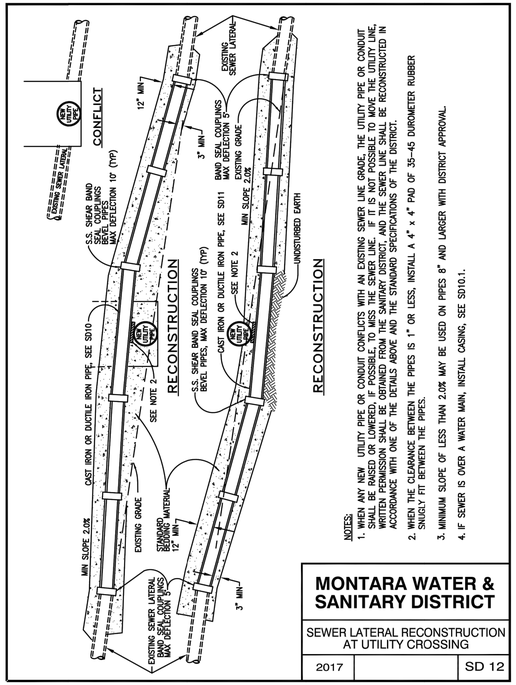



NOTES:
1. SEWER PROTECTION, AND REPLACEMENT OF PIPE SECTION IF DAMAGED, AS DETAILED HEREON, SHALL BE PROVIDED WHEN ANY NEW UTILITY PIPE IS INSTALLED ABOVE AN EXISTING SEWER PIPE AND THE CLEARANCE IS LESS THAN 12".
2. BACKFILL SHALL NOT BE PLACED UNTIL PIPE INSTALLATION HAS BEEN INSPECTED AND APPROVED BY THE DISTRICT.
3. WHEN THE CLEARANCE BETWEEN THE PIPES IS 1" OR LESS, INSTALL A 4" x 4" PAD OF 35-45 DUROMETER RUBBER SNUGLY FIT BETWEEN THE PIPES.

**MONTARA WATER & SANITARY DISTRICT**

SEWER PIPE PROTECTION BELOW UTILITY CROSSING

2014 | | SD 11

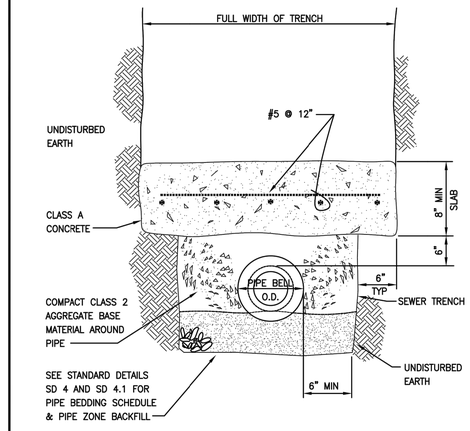



NOTES:
1. WHEN ANY NEW UTILITY PIPE OR CONDUIT CONFLICTS WITH AN EXISTING SEWER LINE GRADE, THE UTILITY PIPE OR CONDUIT SHALL BE RAISED OR LOWERED, IF POSSIBLE, TO MISS THE SEWER LINE. IF IT IS NOT POSSIBLE TO MOVE THE UTILITY LINE, WRITTEN PERMISSION SHALL BE OBTAINED FROM THE SANITARY DISTRICT, AND THE SEWER LINE SHALL BE RECONSTRUCTED IN ACCORDANCE WITH ONE OF THE DETAILS ABOVE AND THE STANDARD SPECIFICATIONS OF THE DISTRICT.
2. WHEN THE CLEARANCE BETWEEN THE PIPES IS 1" OR LESS, INSTALL A 4" x 4" PAD OF 35-45 DUROMETER RUBBER SNUGLY FIT BETWEEN THE PIPES.
3. MINIMUM SLOPE OF LESS THAN 2.0% MAY BE USED ON PIPES 8" AND LARGER WITH DISTRICT APPROVAL.
4. IF SEWER IS OVER A WATER MAIN, INSTALL CASING, SEE SD10.1.

**MONTARA WATER & SANITARY DISTRICT**

SEWER LATERAL RECONSTRUCTION AT UTILITY CROSSING

2017 | | SD 12




**MONTARA WATER & SANITARY DISTRICT**

STANDARD CONCRETE PIPE PROTECTION

2017 | | SD 13

| REVISIONS | | | |
|---|---|---|---|
| SYM. | DESCRIPTION | DATE | APPROVED |
| A | FOR REVIEW | 02-21-23 | IK |
| B | NEW SITE PLAN | 03-03-24 | IK |

REGISTERED PROFESSIONAL ENGINEER
IGOR M. KLEYNER
NO. C68621
Exp. 09-30-25
CIVIL
STATE OF CALIFORNIA

**MODERN TECHNOLOGY RESOURCES INC.**
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**700 GEORGE ST @ BIRCH ST**
**MONTARA, CA 94037**
**APN: 036-103-620**

# SEWER LATERAL DETAILS

| | |
|---|---|
| DATE | FEBRUARY 2023 |
| SCALE | AS SHOWN |
| DESIGN | IK |
| DRAWN | IK |
| PROJECT# | 23001 |
| SHEET | 15 OF 15 |

**C5.0**