

**COUNTY OF SAN MATEO
PLANNING AND BUILDING DEPARTMENT**

DATE: December 18, 2014

TO: Zoning Hearing Officer

FROM: Planning Staff

SUBJECT: Consideration of a Use Permit Amendment and Parcel Merger, pursuant to Section 6500 of the County Zoning Regulations and Section 7123 of the County Subdivision Regulations, respectively, to construct a new 2,200 sq. ft. single-story duplex, including two attached single-car garages (300 sq. ft. each) located at 677 Second Avenue, to be used as minister housing in association with the adjacent Jehovah's Witnesses congregation hall, in the unincorporated area of North Fair Oaks. The project includes a parcel merger to merge the congregation hall parcel (22,800 sq. ft.) with the vacant parcel (9,200 sq. ft.) to accommodate the proposed development and reconfigure on-site parking, along with landscape and drainage improvements.

County File Number: PLN 2000-00325 (Woodside Spanish
Congregation of Jehovah's Witnesses)

PROPOSAL

The applicant is requesting a use permit amendment to construct a new 2,200 sq. ft. single-story duplex on a currently vacant parcel (approximately 9,200 sq. ft. in size) located at 677 Second Avenue in the North Fair Oaks area. Each one-bedroom unit will be 800 sq. ft. in size and connected by two attached single-car garages (300 sq. ft. each) to serve the units. The architectural style, exterior finish colors and materials will be compatible with the adjacent church/worship building. The duplex will serve as minister housing in association with the adjacent church facility located at 681 Second Avenue.

The project includes a parcel merger to merge the church lot (22,800 sq. ft.) and adjacent vacant lot (9,200 sq. ft.) in order to accommodate the proposed duplex and to reconfigure on-site parking for the church while maintaining compliance with the County off-street parking requirements. The project also includes landscape and drainage improvements.

RECOMMENDATION

That the Zoning Hearing Officer approve the Use Permit Amendment and Parcel Merger, County File Number PLN 2000-00325, by making the required findings and adopting the conditions of approval in Attachment A.

BACKGROUND

Report Prepared By: Summer Burlison, Project Planner, 650/363-1815

Owner/Applicant: Woodside Spanish Congregation of Jehovah's Witnesses

Location: 677 Second Avenue, North Fair Oaks

APN: 060-031-480

Size: 32,000 sq. ft. after merger (approximate)

Existing Zoning: R-1/S-73 (Single-Family Residential/5,000 sq. ft. lot minimum)

General Plan Designation: Single-Family Residential

Parcel Legality: The project parcels are legal pursuant to a recorded subdivision in 1979 (SMN 78-67) and subsequent recorded subdivision in 1985 (SMN 84-2).

Sphere-of-Influence: Redwood City

Existing Land Use: Congregation hall with on-site parking lot, vacant land

Water Supply: California Water Service Company

Sewage Disposal: Fair Oaks Sewer District

Flood Zone: Zone X, area of minimal flood hazard; FEMA Map Number 06081C0302E, dated October 16, 2012

Environmental Evaluation: The project is categorically exempt from further environmental review under Section 15303, Class 3 of the California Environmental Quality Act (CEQA) for the new construction of a duplex in an urbanized area.

Setting: The project site is located within a built-out single-family residential neighborhood in the North Fair Oaks area of San Mateo County. The project site consists of a single-story church with on-site parking along the side and at the rear of the property. The adjacent vacant property which will accommodate a new single-story duplex for minister housing associated with the church will be merged with the church lot.

Chronology:

<u>Date</u>	<u>Action</u>
1967	- Use permit approval to establish a church on a 32,475 sq. ft. parcel; a portion of this church property was sold at a later date.
March 1978	- The church requested a use permit amendment to reduce the church site to 14,983 sq. ft. (File No. UP 17-78).
February 6, 1986	- Use permit (UP 17-78) amended to acquire more land and additional off-street parking, and to apply for an off-street parking exception (OSP 85-11).
December 24, 1990	- Lot line adjustment approved between the church and two adjacent residential properties to provide additional parking in the rear of the property.
February 20, 1992	- Use permit amendment (USE 91-0014; formerly UP 17-78) approved to rebuild church with a slightly higher seating capacity, pave the remaining one-half unpaved parking area, install a sign in the front yard, and amend the previous (OSP 85-11) off-street parking exception (OSP 92-001) to allow 38 compact parking spaces.
September 1, 1993	- Administrative review of USE 91-0014 approved.
June 5, 1997	- Use permit (USE 91-0014) renewal approved.
September 10, 1998	- Administrative review of USE 91-0014 approved.
June 7, 2000	- Administrative review of use permit (PLN 2000-00325; formerly USE 91-0014) approved.
March 7, 2002	- Use permit (PLN 2000-00325) renewal approved.
August 2, 2007	- Use permit (PLN 2000-00325) renewal approved.
June 28, 2013	- Subject use permit (PLN 2000-00325) amendment submitted to construct a duplex for minister housing in association with the church.
October 23, 2014	- Application deemed complete.
October 23, 2014	- North Fair Oaks Community Council meeting.

DISCUSSION

A. KEY ISSUES

1. Compliance with General Plan

Staff has reviewed and found that the project complies with the applicable General Plan policies discussed below:

- a. Policies 8.35 – 8.40 (*General Development Standards*) require urban development to be consistent with the zoning regulations; the general land use designation; density; minimum parcel size requirement; height, bulk and setbacks; and parking requirements.

See Section A.2 below for detailed discussion on the project's compliance with these policies.

Compliance with North Fair Oaks Community Plan

The North Fair Oaks (NFO) Community Plan is a subset of the County's General Plan applicable to the North Fair Oaks community. Staff has reviewed and found that the project complies with the applicable NFO Community Plan policies discussed below:

- b. Policy 2C includes allowing residential infill development on vacant and underutilized residential parcels to help achieve Land Use Goal 2.2, which seeks to promote revitalization through redevelopment of underutilized and vacant land in NFO to create jobs and housing and support community and economic development.

The proposed duplex will be constructed on a vacant parcel located within a developed residential neighborhood. The duplex will serve as minister housing in association with the adjacent church. The proposed project will incorporate on-site drainage and landscape improvements and is designed to be compatible with the surrounding urban development.

- c. Policy 3A includes simplifying and combining land use categories for residential uses to reduce redundancies and provide clear guidance on the type and density of development that is desired in residential areas to help achieve Land Use Goal 2.3; this goal seeks to amend and streamline land use categories to strengthen neighborhood and community character and to incentivize needed and appropriate development.

Based on the NFO Community Plan Land Use Designation Map, the project site has a land use designation of single-family residential which combines the County's previous low, medium-low, and medium density residential designations into a single designation. Allowed densities in the single-family residential designation range from a minimum of 15 dwelling units per acre (du/ac) to a maximum of 24 du/ac. The proposed duplex will result in a density (after merger) of 2.7 du/ac and is well below the allowed range.

- d. Policies 3A, 3D, 5C, and 5D include requiring new development to comply with the Countywide Stormwater Pollution Prevention Program, provide erosion and sediment control plans and Best Management Practices (BMPs) for all construction activities, minimize impervious surfaces, and incorporate on-site stormwater detention measures to address increased stormwater flows as ways to help achieve Infrastructure Goals 4.3 and 4.5; these goals seek to improve stormwater treatment facilities and reduce the impact of flooding in NFO.

The project includes on-site structural (e.g., pipes) and non-structural (e.g., vegetated swales) drainage improvements to mitigate the increase in impervious surface. Low Impact Development (LID) measures are also incorporated into the project, such as directing roof, sidewalk, and driveway runoff onto vegetated areas.

An erosion control plan has been prepared for the project that includes perimeter controls, a stabilized construction entrance, and inlet protection to minimize erosion and sediment throughout construction. The Department of Public Works has also reviewed and conditionally approved the project for compliance with the County's Drainage Program.

- e. Policy D2-5 (*Layout and Orientation – Individual Buildings*) encourages parking and access to parking in the side and rear of lots to minimize street parking and related disruption to the pedestrian environment.

The existing (two) access driveways from Second Avenue to the church's rear parking lot will be improved and widened to accommodate angled on-site parking along the drive aisles. No new curb cuts in the sidewalk along Second Avenue are proposed. Additionally, the church's rear parking lot area will be maintained.

- f. Policy D2-6 (*Layout and Orientation – Individual Buildings*) encourages buildings, especially individual residential units, to have

access to sun and air through operable windows and building openings on at least two sides.

The duplex is designed to have windows and/or doors on each side of the building. The building will be oriented in a northwest to southeast direction in compliance with zoning setbacks and surrounded by open yard space with open parking/drive aisles beyond.

- g. Policy D3-1 (*Massing and Scale*) encourages massing and scale of new residential development to complement existing structures and development patterns.

The duplex is proposed as a single-story building with a maximum peak height of 14'-1 5/8". The architectural style and exterior finish colors and materials will complement the existing single-story church facility and surrounding developed neighborhood. Exterior siding will consist of stucco and cement board siding with brick accent and a shingle roof. Finished colors will be neutral earth-toned colors. Its orientation on the property will provide the appearance of a single-family residence, as the front entrance and garage doors to the duplex units will face the side of the adjacent church (instead of facing Second Avenue). The surrounding area is comprised of one- and two-story residences. The property abuts two-story multi-family development along the rear property line.

- h. Policies D7-1 and D7-8 (*Parking*) encourage surface parking for new residential development to be located behind or to the side of the structure and that runoff from parking lots be minimized through measures such as permeable paving or swales.

On-site drainage improvements to the parking areas will include connecting new storm drain piping and supporting structures, sized to accommodate the impervious parking areas, into the existing on-site storm drain system. Additionally, bioswales are proposed along the front of the duplex and along the length of the right side property line where new on-site parking will be accommodated. See Sections d. and e. above for further discussion of the project's compliance with these policies.

- i. Policy D9 (*Stormwater Management*) encourages stormwater runoff reduction and treatment BMPs in project designs, including flow-through planters, disconnected drain spouts, and vegetated swales.

See Section h. above for discussion on the project's compliance with these policies.

2. Compliance with Zoning Regulations

- a. Development Standards. The project parcel is zoned R-1/S-73 (single-family residential/5,000 sq. ft. lot minimum). Churches are an allowed use in R-1 zoning districts subject to obtaining a use permit. County records show that a church has been existing on the project site under use permit since 1967. The last use permit renewal for the church was approved in August 2007 and is valid through August 2, 2017. The proposed duplex is considered an ancillary use to the primary permitted church. The duplex will provide minister housing in association with the church. Given the duplex’s affiliation to the church and in order to comply with the S-73 Development Standards, a parcel merger is included in this project application. The table, below, identifies the project’s compliance with the S-73 Development Standards:

Standard	Required	Proposed (after Parcel Merger)
Minimum Lot Width	50 ft.	165 ft.
Minimum Building Area	5,000 sq. ft.	±32,000 sq. ft.
Minimum Front Yard Setback	20 ft.	21 ft., 9 1/4 in.
Minimum Side Yard Setbacks		
Left Side	5 ft.	No change
Right Side	5 ft.	± 41 ft.
Minimum Rear Yard Setback	20 ft.	± 58 ft.
Maximum Lot Coverage	50%	18%
Maximum Floor Area	9,620 sq. ft.	5,763 sq. ft.
Maximum Building Height	28 ft.	14 ft., 1 5/8 in.
Daylight Plane	Alongside setback lines	Complies
Covered Off-Street Parking*	2	2
*County Parking Regulations require 1 covered parking space for each residential dwelling unit containing not more than 1 bedroom.		

- b. Off-Street Parking (Uncovered). The church currently maintains 57 on-site parking spaces. The project will include reconfiguring on-site parking for the church. The project plans propose 54 parking spaces, not including the two single-car garage spaces associated with the duplex. The County’s Parking Regulations require one (1) on-site parking space be provided for each four (4) seats in a church. Under the church’s use permit, the maximum number of seats allowed in the congregation hall is 224. The congregation hall contains a total of 221 seats; therefore, requiring 55 on-site parking spaces. The applicant’s project development/design representative has identified that two (2)

additional parking spaces can be provided behind the church to meet the current (221) and maximum potential seating capacity (224). The area directly behind the church currently accommodates two to three parking spaces that could be retained with the proposed project. Therefore, staff has included Condition of Approval No. 11 requiring a minimum of 56 off-street parking spaces be provided for the church. The reconfigured church parking lot would include 16 compact parking spaces (including the two additional parking spaces behind the church building) which is below the 38 compact spaces allowed under the currently configured parking lot (Off-Street Parking Exception, OSP 92-001).

- c. Compliance with Conditions of Last Use Permit Approval (for Church). Staff has reviewed and found the existing church facility to be in compliance with its current use permit conditions of approval, issued on August 2, 2007, as identified below:

Current Planning Section

1. This approval applies only to the proposal, documents and plans described in this report and submitted to and approved by the Zoning Hearing Officer. Minor revisions or modifications to the project may be made subject to the review and approval of the Community Development Director.

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes, but modified to include the date of Zoning Hearing Officer approval.

2. This use permit shall be valid through August 2, 2017. If the applicant wishes to renew the use permit, an application for renewal must be submitted to the Current Planning Section and shall be accompanied by the renewal application and fee applicable at that time six months prior to this expiration.

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes, but updated to reflect a new ten (10) year expiration date.

3. The use of the church facility shall be in conjunction with the Jehovah's Witnesses activities. This use permit shall be for the existing improvements and continued operation of the church as previously approved. Minor revisions shall be subject to the review and approval of the Community Development Director.

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes, but modified to eliminate reference to the “Jehovah’s Witnesses” religion and old date reference.

4. The maximum number of seats in the main hall shall be 224. The maximum church occupancy of the main hall shall be 228 persons per Menlo Park Fire District.

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes, but modified to replace reference to “Menlo Park Fire District” with “fire code.” This site is no longer under the jurisdiction of the Menlo Park Fire Protection District. Therefore, the Redwood City Fire Department has provided review on this application.

Menlo Park Fire District

5. The existing fire alarm system shall be maintained in accordance with the standards set by the Menlo Park Fire District.

Compliance with Condition? Yes.

Recommend to Retain Condition? Yes, but modified to eliminate reference to the “Menlo Park Fire District” as this project site is no longer under the jurisdiction of the Menlo Park Fire Protection District. Therefore, the Redwood City Fire Department has provided review on this application.

- d. Compliance with Use Permit Finding. For the Zoning Hearing Officer to approve the use permit amendment, the following finding must be made:

That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood.

There is no evidence to suggest that the proposed project will have any detrimental effect upon the public welfare, properties, or improvements in the area. Furthermore, the project site is not within the coastal zone, therefore, will not have an adverse impact to coastal

resources. The proposed duplex is designed to be fully integrated and compatible with the surrounding developed residential neighborhood and adjacent church which it will support. The duplex will allow the church to provide housing for two affiliated ministers. All applicable reviewing agencies have provided (conditional) approval of the proposed development. The North Fair Oaks Community Council considered this project at its October 23, 2014 meeting and recommended unanimous approval with the conditions that an oak tree and walnut tree (located on the vacant project parcel) be retained and that the parking lot serving the church maintains compliance with the County's required off-street parking requirements. Staff has included both of these conditions into the recommended conditions of approval in Attachment A of this staff report.

Also, according to County records, a church facility has operated on the subject property since 1967 under an approved use permit, with amendments approved over time. The Planning Department has no records of reported complaints of this use and the church has become an essential component of the surrounding community in providing spiritual support to the neighborhood through its public ministry. Furthermore, the church believes that the public preaching work they offer promotes strong happy family life and strong morals that make for better citizens.

B. REVIEW BY THE NORTH FAIR OAKS COMMUNITY COUNCIL

The North Fair Oaks Community Council considered this project at its October 23, 2014 Council meeting and made a unanimous recommendation for approval subject to maintenance of the oak tree (14" dbh), located in the left front side of the vacant lot, and the walnut tree (13" dbh), located in the right front corner of the vacant lot, and that the project maintain compliance with the County's off-street parking regulations. The applicant agreed to both of these conditions, which have been included as conditions of approval in Attachment A of this staff report.

C. ENVIRONMENTAL REVIEW

The project is categorically exempt from further environmental review under Section 15303, Class 3, of the California Environmental Quality Act (CEQA) for the new construction of a duplex in an urbanized area where public services are available.

D. REVIEWING AGENCIES

Building Inspection Section
Department of Public Works
Redwood City Fire Department
Fair Oaks Sewer Maintenance District
California Water Service Company
North Fair Oaks Community Council

ATTACHMENTS

- A. Recommended Findings and Conditions of Approval
- B. Vicinity Map
- C. Site Plan, Sheet A1.1
- D. Floor Plan, Sheet A2.1
- E. Elevations, Sheets A3.1 and A3.2
- F. Survey, Sheet C101
- G. Grading and Drainage Plan, Sheet C102A
- H. Draining Details, Sheet C102B
- I. Utility Plan, Sheet C102C
- J. C.3 Plans and Details, Sheet C102D
- K. Construction Dimension Plan, C103
- L. Erosion Control Notes and Details, Sheet C104A
- M. Erosion Control Plan, Sheet C104B
- N. Site Photos

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County of San Mateo
Planning and Building Department

RECOMMENDED FINDINGS AND CONDITIONS OF APPROVAL

Permit or Project File Number: PLN 2000-00325 Hearing Date: December 18, 2014

Prepared By: Summer Burlison
Project Planner

For Adoption By: Zoning Hearing Officer

RECOMMENDED FINDINGS

For the Environmental Review, Find:

1. That the project is categorically exempt from further environmental review under Section 15303, Class 3, of the California Environmental Quality Act (CEQA) for the new construction of a duplex in an urbanized area where public services are available.

For the Use Permit, Find:

2. That the establishment, maintenance and/or conducting of the use will not, under the circumstances of the particular case, result in a significant adverse impact to coastal resources, or be detrimental to the public welfare or injurious to property or improvements in said neighborhood as the project is designed to be fully integrated and compatible with the surrounding developed residential neighborhood and the duplex will serve as an ancillary use to the church by providing on-site minister housing. There is no evidence to suggest that the project will be a detriment to the public welfare or properties or improvements in the neighborhood. The church is an essential component of the surrounding community in providing spiritual support to the neighborhood through public ministry. Furthermore, the project site is not within the coastal zone, therefore, will not have an adverse impact to coastal resources.

RECOMMENDED CONDITIONS OF APPROVAL

Current Planning Section

1. This approval applies only to the proposal, documents, and plans described in this report and submitted to and approved by the Zoning Hearing Officer on December 18, 2014. Minor modifications to the project may be approved by the

Community Development Director if they are consistent with the intent of, and in substantial conformance with, this approval.

2. This use permit shall be valid for ten (10) years following the date of final approval. The applicant shall file for a renewal of this permit six months prior to expiration with the County Planning and Building Department, if continuation of this use is desired. If the County finds that the use is not in compliance with the conditions of approval, the applicant shall have 30 days to comply with the terms of the approved use permit or apply for a use permit amendment, including payment of all applicable fees.
3. Use of the church facility shall be in conjunction with associated church activities related to existing improvements and continued operation of the church as previously approved. Minor revisions shall be subject to the review and approval of the Community Development Director.
4. Use of the duplex shall be in conjunction with and ancillary to the adjacent church facility. Should church use of the property be terminated, the duplex shall be removed in its entirety, or converted to a use allowed under the applicable zoning district.
5. Any change in use or intensity shall require an amendment to this use permit. Amendment of this use permit requires an application for amendment, payment of applicable fees, and consideration at a public hearing.
6. The maximum number of seats in the main hall shall be 224. The maximum church occupancy of the main hall shall be 228 persons per fire code.
7. Prior to the issuance of a building permit, a parcel merger shall be recorded for the subject parcels.
8. Exterior color and material samples (such as manufacturer brochures) for all exterior finishes identified in the architectural elevations shall be submitted for review and approval prior to the issuance of a building permit. Prior to final building inspection, the applicant shall submit photos of the completed exterior elevations of the building to verify that the approved colors and materials have been appropriately implemented.
9. Manufacturer cut sheets for any exterior building wall mounted light fixtures shall be submitted for review and approval prior to the issuance of a building permit. Fixtures shall be designed to minimize light pollution beyond the confines of the subject premises.
10. No significant or heritage sized trees are approved for removal as part of this project. Specifically, the oak tree (14" dbh) and walnut tree (13" dbh) shall be retained and protected throughout construction. The removal of any significant or

heritage sized tree shall require separate review under a tree removal permit, or amendment to this use permit.

11. The reconfigured church parking lot shall maintain compliance with the County's minimum parking space requirement for 56 spaces, based on a maximum number of 224 seats being allowed in the congregation hall. The project plans submitted for building permit shall be updated to show compliance with the parking regulations.
12. Prior to final building inspection, Planning verification is required to ensure that on-site parking has been constructed according to the approved plans. Compliance shall include the verification of the number of parking spaces, striping of spaces, and markings for compact parking spaces.
13. The project plans submitted for building permit shall include an updated Erosion and Sediment Control Plan that includes the following:
 - a. Identification of trees to be protected and tree protection details for all existing trees in proximity to proposed construction activities, including specifically the walnut tree (13" dbh) and oak tree (14" dbh).
 - b. Sand and/or gravel bags identified on the current Erosion Control Plan shall be replaced with "rock" bags or fiber rolls.
 - c. Show all applicable logistic areas (e.g., office trailer, storage sheds, temporary power pole, and other temporary installations) on the plan.
 - d. Label the on-site area(s) to be used for parking of construction vehicles.
 - e. As applicable, show the location of portable toilets, construction staging and material storage areas, and/or debris bins.
 - f. Identify an Erosion Control Point of Contact on the plan, including name, phone number, mailing address, and email. This person will be the primary point of contact for any deficient erosion control measures throughout project construction.
14. Prior to beginning any construction activities, the applicant shall implement an approved Erosion and Sediment Control Plan, which shall be maintained throughout the duration of the project. Erosion control measure deficiencies, as they occur, shall be immediately corrected. The goal is to prevent sediment and other pollutants from leaving the project site and to protect all exposed earth surfaces from erosive forces. Said plan shall adhere to the San Mateo County-wide Stormwater Pollution Prevention Program "General Construction and Site Supervision Guidelines," including:

- a. Stabilizing all denuded areas and maintaining erosion control measures continuously between October 1 and April 30. Stabilizing shall include both proactive measures, such as the placement of fiber rolls or silt fencing, and passive measures, such as revegetating disturbed areas with plants propagated from seed collected in the immediate area.
 - b. Storing, handling, and disposing of construction materials and wastes properly, so as to prevent their contact with stormwater.
 - c. Controlling and preventing the discharge of all potential pollutants, including pavement cutting wastes, paints, concrete, petroleum products, chemicals, wash water or sediments, and non-stormwater discharges to storm drains and watercourses.
 - d. Using sediment controls or filtration to remove sediment when dewatering the site and obtaining all necessary permits.
 - e. Avoiding cleaning, fueling, or maintaining vehicles on-site, except in a designated area where wash water is contained and treated.
 - f. Delineating with field markers clearing limits, easements, setbacks, sensitive or critical areas, buffer zones, trees and drainage courses.
 - g. Protecting adjacent properties and undisturbed areas from construction impacts using vegetative buffer strips, sediment barriers or filters, dikes, mulching, or other measures as appropriate.
 - h. Performing clearing and earth-moving activities only during dry weather.
 - i. Limiting and timing application of pesticides and fertilizers to prevent polluted runoff.
 - j. Limiting construction access routes and stabilizing designated access points.
 - k. Avoiding tracking dirt or other materials off-site; cleaning off-site paved areas and sidewalks using dry sweeping methods.
 - l. The contractor shall train and provide instructions to all employees and subcontractors regarding the construction best management practices.
15. The applicant shall implement and maintain throughout the duration of the project minimum dust control measures:
- a. Water any active construction areas at least twice daily.

- b. Water or cover stockpiles of debris, soil, sand, or other materials that can be blown by the wind.
 - c. Cover any trucks hauling soil, sand and other loose materials or require all trucks to maintain at least 2 feet of freeboard.
 - d. Sweep daily (preferably with water sweepers) all paved access roads, parking and staging areas at construction sites.
 - e. Sweep public streets daily (preferably with water sweepers) if visible soil material is carried onto them.
 - f. Replant vegetation in disturbed areas immediately upon completion of construction.
16. To reduce the impact of construction activities on neighboring properties, comply with the following:
- a. All debris shall be contained on-site; a dumpster or trash bin shall be provided on-site during construction to prevent debris from blowing onto adjacent properties. Monitoring of the site shall be required to ensure that trash is picked up and appropriately disposed of daily.
 - b. The applicant shall ensure all construction equipment is removed from the site upon completion of the use and/or need of each piece of equipment, which shall include but not be limited to tractors, back hoes, cement mixers, etc.
 - c. The applicant shall ensure that no construction-related vehicles impede traffic along any right-of-way. All construction vehicles shall be parked on-site outside the public right-of-way or in approved locations which do not impede safe access within the area. There shall be no storage of construction vehicles in the public right-of-way.
17. Noise levels produced by proposed construction activities shall not exceed the 80-dBA level at any one moment. Construction activities shall be limited to the hours from 7:00 a.m. to 6:00 p.m., Monday through Friday, and 9:00 a.m. to 5:00 p.m. on Saturday. Construction operations shall be prohibited on Sunday and any national holiday.
18. The applicant shall ensure that during construction, noise, light, dust, odor and other interference with persons and property off the development site is minimized.

Building Inspection Section

19. Prior to pouring any concrete for foundations, written verification from a licensed surveyor must be submitted which will confirm that the required setbacks, as shown on the approved plans, have been maintained.
20. An automatic fire sprinkler system will be required. The fire sprinkler permit must be issued prior to or in conjunction with the building permit.
21. If a water main extension, upgrade or hydrant is required, this work must be completed prior to the issuance of the building permit or the applicant must submit a copy of an agreement and contract with the water purveyor which will confirm that the work will be completed prior to finalization of the building permit.
22. A site drainage plan will be required. This plan must demonstrate how roof drainage and site runoff will be directed to an approved disposal area.
23. Sediment and erosion control measures must be installed prior to beginning any site work and maintained throughout the term of the permit. Failure to install or maintain these measures will result in stoppage of construction until the corrections have been made and fees paid for staff enforcement time.
24. This project must comply with the 2013 California Green Standards Code.
25. Please call out the current codes on the code summary of the building permit plans. The design and/or drawings shall be done according to the 2013 Editions of the California Building Standards Code, the 2013 California Plumbing Code, the 2013 California Mechanical Code, and the 2013 California Electrical Code.
26. This project shall meet all the accessible requirements in the most current California Building Code(s), accessible parking, number of accessible units, accessible path from the right-of-way to the accessible parking, and an accessible route to any accessible units. Provide details of all accessible units and the accessible requirements within these units on the plans when you apply for a building permit.

Department of Public Works

27. Prior to the issuance of the building permit (for Provision C.3 Regulated Projects), the applicant shall have prepared, by a registered civil engineer, a drainage analysis of the proposed project and submit it to the Department of Public Works for review and approval. The drainage analysis shall consist of a written narrative and a plan. The flow of the stormwater onto, over, and off the property shall be detailed on the plan and shall include adjacent lands as appropriate to clearly depict the pattern of flow. The analysis shall detail the measures necessary to certify adequate drainage. Post-development flows and velocities shall not

exceed those that existed in the pre-developed state. Recommended measures shall be designed and included in the improvement plans and submitted to the Department of Public Works for review and approval.

28. Prior to the issuance of the building permit, the applicant shall submit a driveway "Plan and Profile," to the Department of Public Works, showing the driveway access to the parcel (garage slab) complying with County Standards for driveway slopes (not to exceed 20%) and to County Standards for driveways (at the property line) being the same elevation as the center of the access roadway. When appropriate, as determined by the Department of Public Works, this plan and profile shall be prepared from elevations and alignment shown on the roadway improvement plans. The driveway plan shall also include and show specific provisions and details for both the existing and the proposed drainage patterns and drainage facilities.
29. No proposed construction work within the County right-of-way shall begin until County requirements for the issuance of an encroachment permit, including review of the plans, have been met and an encroachment permit issued. The applicant shall contact a Department of Public Works Inspector 48 hours prior to commencing work in the right-of-way.
30. The applicant shall replace the abandoned driveways with standard County sidewalks as directed by the County Public Works Inspector.
31. Prior to the issuance of the building permit, the applicant will be required to provide payment of "roadway mitigation fees" based on the square footage (assessable space) of the proposed building per Ordinance #3277.

Redwood City Fire Department (previously under Menlo Park Fire Protection District)

32. The existing fire alarm system shall be maintained in accordance with the standards set forth by the applicable fire district for the subject site.
33. Fire sprinklers shall meet the requirements of NFPA Standard 13-D.

Fair Oaks Sewer Maintenance District

34. The project shall comply with all Sewer District requirements for service, including but not limited to the requirements for purchase of a sewer connection, installation of the connection, and payment of all associated fees. Detailed plans showing the proposed sewer connection shall be submitted to the Sewer District for review prior to issuance of a building permit.

California Water Service Company

35. Backflow assembly is required for all fire sprinkler systems. Contact Martin Gonzalez at 650/854-5454 for questions or more information.
36. The project shall comply with all Water District requirements for service.

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VICINITY MAP

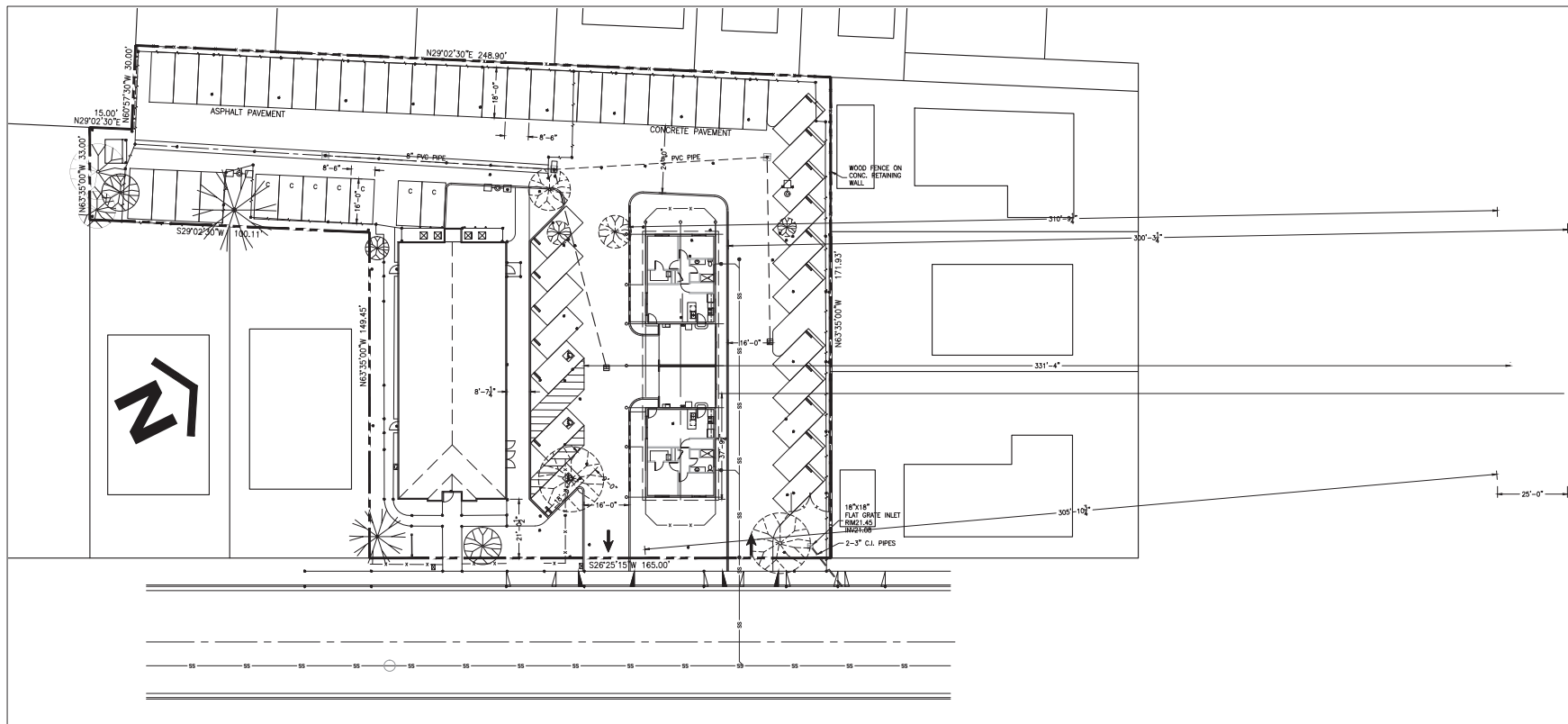
Zoning Hearing Officer Meeting

PLN 2000-00325

Case

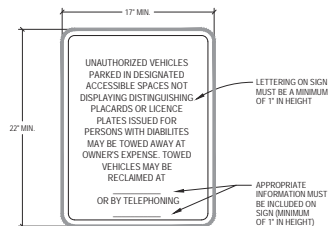
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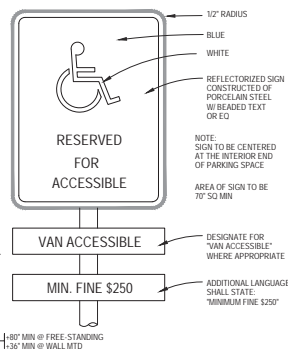


2nd AVENUE, REDWOOD CITY

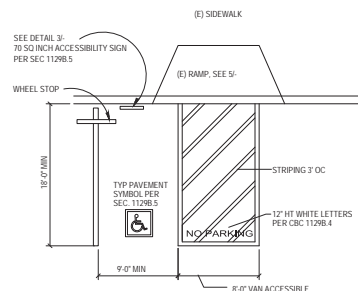
5 SITE PLAN
A1.1 SCALE: 1/32"



1 (E) LOT ENTRY SIGNAGE
A1.1 SCALE: NTS



2 (E) ACCESSIBLE PARKING SIGNAGE
A1.1 SCALE: NTS



3 (E) VAN ACCESSIBLE PARKING
A1.1 SCALE: NTS

SITE ACCESSIBILITY NOTES

WALKS AND SIDEWALKS

1. WALKS AND SIDEWALKS SUBJECT TO THESE REGULATIONS SHALL HAVE A CONTINUOUS COMMON SURFACE, NOT INTERRUPTED BY STEPS OR BY ABRUPT CHANGES IN LEVEL EXCEEDING 1/2" AND SHALL BE A MINIMUM OF 48" IN WIDTH (36" SERVING INDIVIDUAL UNITS)
2. WHEN THE SLOPE IN THE DIRECTION OF TRAVEL OF ANY WALK EXCEEDS 1 VERTICAL TO 30 HORIZONTAL (3% GRADE), IT SHALL COMPLY WITH THE BC PROVISIONS FOR PEDESTRIAN RAMPS.

PARKING FOR THE DISABLED

1. THE MAXIMUM SLOPE OF THE PARKING SPACE SURFACE IN ANY DIRECTION SHALL NOT EXCEED 1/4" PER FOOT.
2. PHYSICALLY DISABLED PARKING SPACES SHALL BE LOCATED AS NEAR AS PRACTICAL TO A PRIMARY ENTRANCE.
3. SPACES SHALL BE SO LOCATED THAT DISABLED PERSONS ARE NOT COMPELLED TO WHEEL OR WALK BEHIND PARKED CARS OTHER THAN THEIR OWN.
4. ONE IN EVERY EIGHT ACCESSIBLE SPACES, BUT NOT LESS THAN ONE, SHALL BE SERVED BY AN ACCESSIBLE ASLE 96" WIDE MINIMUM AND SHALL BE DESIGNATED VAN ACCESSIBLE WITH A SIGN, "VAN ACCESSIBLE," MOUNTED BELOW THE SYMBOL OF ACCESSIBILITY.

- NOTES:
1. ALL STROKES TO BE 3" WIDE
 2. MINIMUM TWO COATS OF PAINT.
 3. BLUE COLOR TO BE EQUAL TO #15090 IN FED. STD 356A
 4. SYMBOL SHALL BE LOCATED AT THE CENTER OF THE PARKING SPACE WIDTH.



4 HANDICAPPED SYMBOL
A1.1 SCALE: NONE

NO.	DATE	REVISION

California Region #7
Design Team

Davidson - Project Development
Livermore, CA 94550
Phone: 925/935-2073
Fax: 925/935-2073



SITE PLAN

MINISTERS APARTMENT
677 SECOND AVENUE, REDWOOD CITY, CA 95063
COUNTY OF SAN MATEO, CALIFORNIA

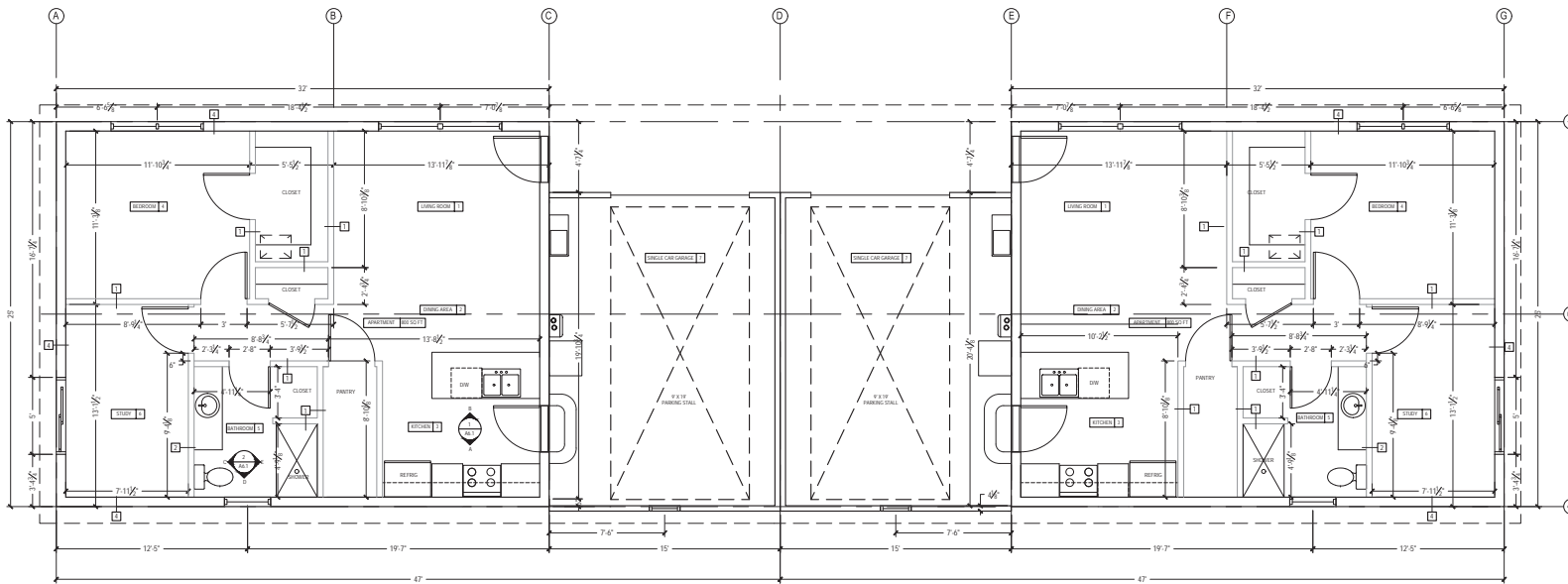
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SCALE	AS SHOWN
DATE	28c-A1.1
DRAWN	

A1.1

Zoning Hearing Officer Meeting

PLN 2000-00325

Case
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WALL TYPES:

- 1** EXTERIOR WALL
 2" X 4" WOOD STUDS @ 16" O.C. W/ ONE LAYER 1/2" GYP BOARD
 4" MIN. INSULATION
- 2** EXTERIOR WALL W/ INSULATION
 2" X 4" WOOD STUDS @ 16" O.C. W/ 2" X 10" BATT INS. W/ ONE LAYER 1/2" GYP BOARD EA SIDE
 4" MIN. INSULATION
- 3** EXTERIOR WALL
 2" X 4" WOOD STUDS @ 16" O.C. W/ ONE LAYER 1/2" GYP BOARD EA SIDE
 4" MIN. INSULATION
- 4** EXTERIOR WALL
 2" X 4" WOOD STUDS @ 16" O.C. W/ 2" X 10" BATT INS. W/ ONE LAYER 1/2" GYP BOARD EA SIDE
 4" MIN. INSULATION

NO.	DATE	REVISION

**California Region #7
Design Team**

David M. Project Development
 Livermore, CA 94550
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 Fax: 925.935.2323



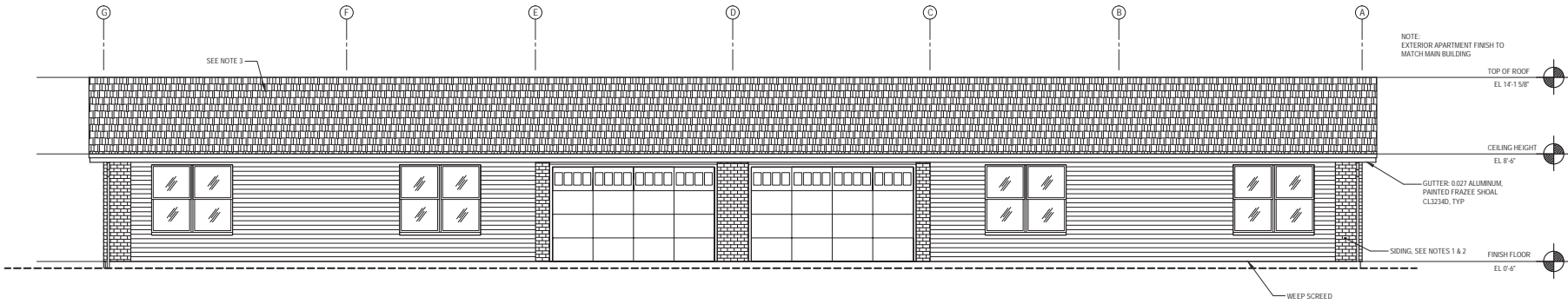
FLOOR PLAN

MINISTERS APARTMENT
 677 SECOND AVENUE, REDWOOD CITY, CA 95063
 COUNTY OF SAN MATEO, CALIFORNIA

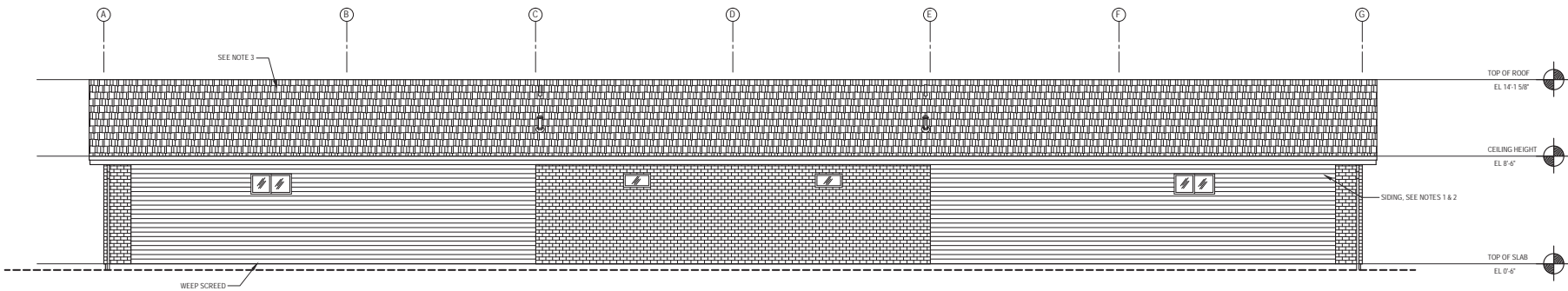
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SCALE	AS SHOWN
DATE	28c-A2.1
DRAWN BY	

Zoning Hearing Officer Meeting
PLN 2000-00325
 Case
D
 Attachment

A2.1



1 WEST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 EAST EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:

- (0) 7/8" MIN STUCCO (3-COAT) OVER WIRE LATH OVER 2 LAYERS GRADE "D" BUILDING PAPER, FINISH TO MATCH EXISTING.
- LAHABRA ACRYLIC FINISH, SAND MEDIUM TEXTURE, X-16 SILVER GREY (BASE 200)
- ROOF: GAF Timberline Cool Series shingles
COLOR: Cool Antique Slate
EMI-TANCE = 0.30
REFLECTANCE = 0.75
INITIAL SOLAR REFLECTANCE: 0.27
THERMAL EMI-TANCE: 0.92
SOLAR REFLECTANCE INDEX (SRI): 29
FIRE RATING - CLASS B (MIN)

Zoning Hearing Officer Meeting

PLN 2000-00325

Case
E
Attachment

NO.	DATE	REVISION

**California Region #7
Design Team**

David Moore - Project Development
Licenses: CA 94950
Phone: 818/995-2571
Email: dmoore@design7.com

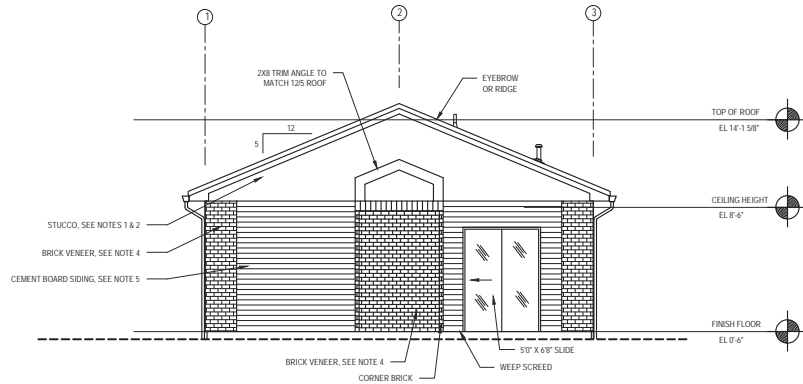


EXTERIOR ELEVATIONS

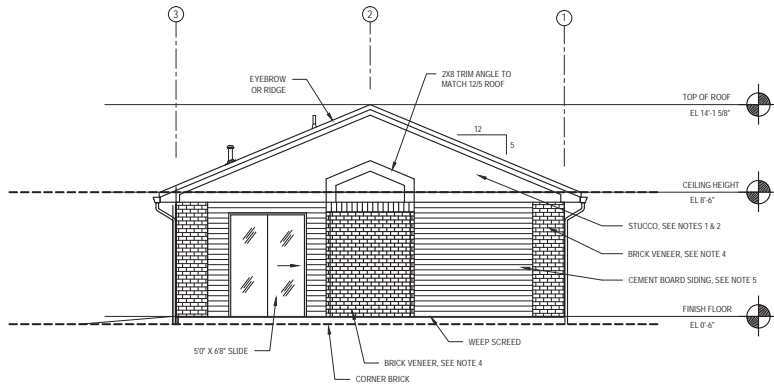
MINISTERS APARTMENT
677 SECOND AVENUE, REDWOOD CITY, CA 95063
COUNTY OF SAN MATEO, CALIFORNIA

DATE PLOTTED	DATE PRINTED
SCALE	1/4" = 1'-0"
DRAWN	
CHECKED	Zarc--831.dwg
DATE	

A3.1



1 NORTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



2 SOUTH EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

NOTES:

1. (3) 7/8" MIN STUCCO (3-COAT) OVER WIRE LATH OVER 2 LAYERS GRADE "D" BUILDING PAPER, FINISH TO MATCH EXISTING.
2. LAHABRA ACRYLIC FINISH, SAND MEDIUM TEXTURE, X-16 SILVER GREY (BASE 200)
3. ROOF: GAF Timberline Cool Series shingles
COLOR: Cool Antique Slate
EMITTANCE: 0.30
REFLECTANCE: 0.75
INITIAL SOLAR REFLECTANCE: 0.27
THERMAL EMITTANCE: 0.92
SOLAR REFLECTANCE INDEX (SRI): 29

FIRE RATING = CLASS B (MIN)
4. BRICK VENEER: ELDORADO STONE TUNDRA BRICK, HARTFORD
5. CEMENT BOARD SIDING: JAMES HARDIE LAP SIDING, CUSTOM COLONIAL SMOOTH 5.25" (4" EXPOSED), COBBLESTONE

Zoning Hearing Officer Meeting

PLN 2000-00325

Case
E
Attachment

NO.	DATE

California Region #7
Design Team

Designation: Project Development
Livermore, CA 94550
Phone: 925.995.2573
Email: [redacted]



EXTERIOR ELEVATIONS

MINISTERS APARTMENT
677 SECOND AVENUE, REDWOOD CITY, CA 94063
COUNTY OF SAN MATEO, CALIFORNIA

DATE	2/15/23
DRAWN BY	EP
CHECKED BY	
SCALE	1/4" = 1'-0"
DATE	2/15/23
DRAWN BY	Zarc--322.dwg
CHECKED BY	

A3.2

OWNER: WOODSIDE SPANISH CONGREGATION
 SITE ADDRESS: 681 & 677 SECOND AVENUE, REDWOOD CITY, CA 94063

RECORD MAP REFERENCES:
 M1 PARCEL MAP 46-PM-30
 M2 PARCEL MAP 55-PM-60

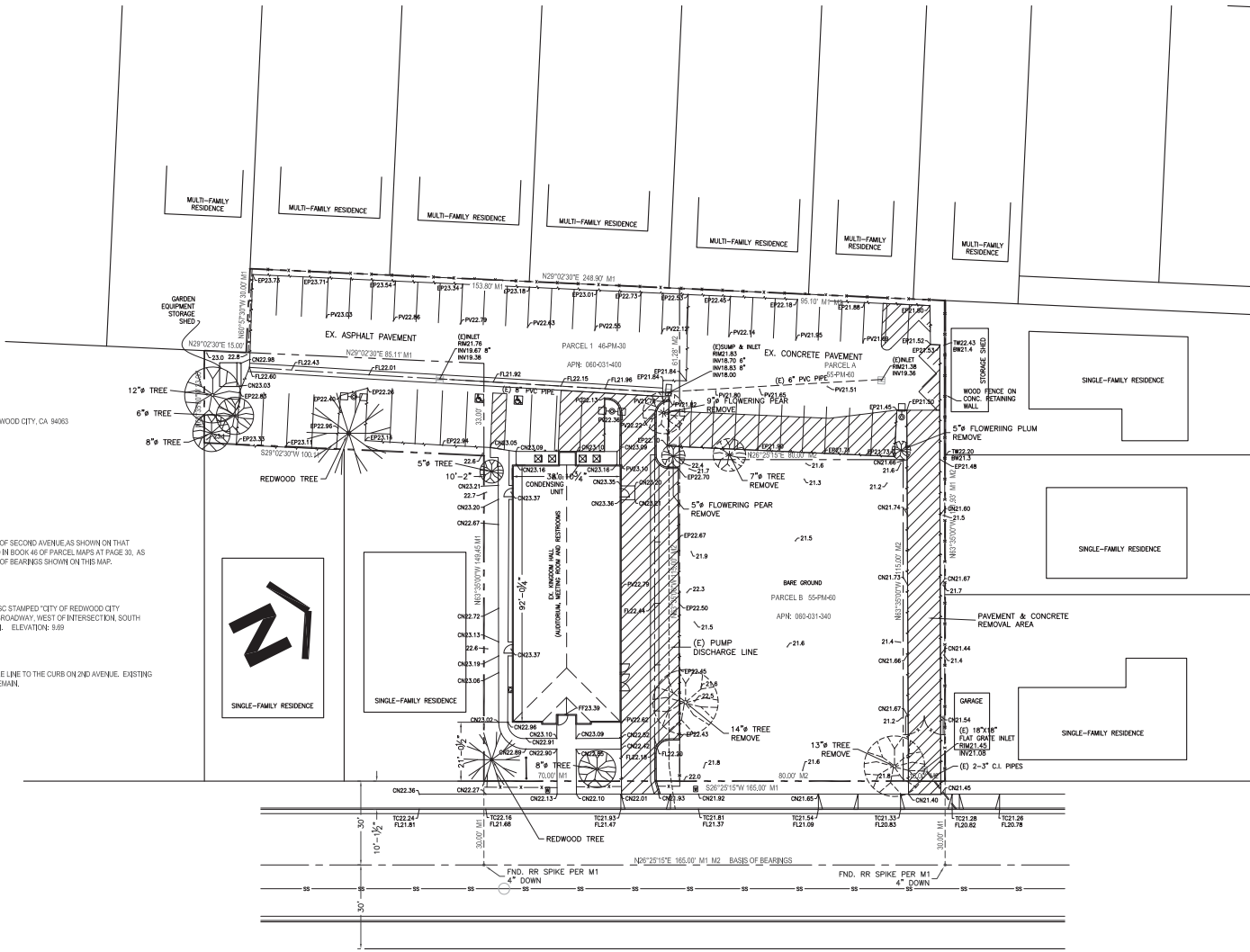
BASIS OF BEARINGS:
 THE BEARING (N29°25'19"E) OF THE CENTERLINE OF SECOND AVENUE AS SHOWN ON THAT CERTAIN PARCEL MAP RECORDED APRIL 11, 1979 IN BOOK 46 OF PARCEL MAPS AT PAGE 30, AS FOUND MONUMENTED, WAS USED AS THE BASIS OF BEARINGS SHOWN ON THIS MAP.

BENCHMARK:
 5/8"X3/8" ROADWAY AT SECOND AVENUE-BRASS DISC STAMPED "CITY OF REDWOOD CITY BENCHMARK" ON CURB OVER CATCH BASIN ON BROADWAY, WEST OF INTERSECTION, SOUTH SIDE OF STREET, AT ENTRANCE TO FIRE STATION. ELEVATION: 9.69

NOTES:
 1. REMOVE EXISTING SUMP PUMP AND PRESSURE LINE TO THE CURB ON 2ND AVENUE. EXISTING CONCRETE SUMP AND OTHER DRAIN PIPES TO REMAIN.

- LEGEND
- WATER METER
 - SANITARY SEWER MANHOLE
 - PARKING LOT LIGHT
 - FLAT GRATE INLET
 - BOUNDARY LINE
 - CENTER LINE
 - CURB AND GUTTER LINE
 - CURB LINE
 - SANITARY SEWER LINE
 - EDGE OF PAVEMENT
 - FENCE LINE

- ABBREVIATIONS
- APN ASSESSOR'S PARCEL NUMBER
 - BW BOTTOM OF WALL ELEVATION
 - CI CAST IRON
 - CN CONCRETE ELEVATION
 - CONC. CONCRETE
 - EP EDGE OF PAVEMENT
 - FF FINISHED FLOOR ELEVATION
 - FL FLOW LINE ELEVATION
 - FND FOUND
 - INV INVERT ELEVATION
 - MR RECORDED MAP REFERENCE
 - PM PARCEL MAP
 - PV PAVEMENT ELEVATION
 - PVC POLYVINYL CHLORIDE (PLASTIC)
 - RR RAILROAD
 - SS SANITARY SEWER
 - TC TOP OF CURB ELEVATION
 - TW TOP OF WALL ELEVATION



2nd AVENUE, REDWOOD CITY

NO.	DATE	BY	REVISION
1	11/15/2014	SS/VA	ACCURATE PER SDC COMMENTS

**California Region #7
Design Team**

Paul H. Hahn - Project Development
 3000 Pinewood Way
 Livermore, CA 94550
 Email: paulhahn@caltrans.com



**PROPERTY SURVEY
AND REMOVAL PLAN**

MINISTERS APARTMENT
 677 SECOND AVENUE, REDWOOD CITY, CA 95063
 COUNTY OF SAN MATEO, CALIFORNIA

PROJECT FILE	PROJECT NO.
DATE	DATE
SCALE	SCALE
DATE	DATE
FILE	FILE
SHEET NO.	SHEET NO.

Zoning Hearing Officer Meeting

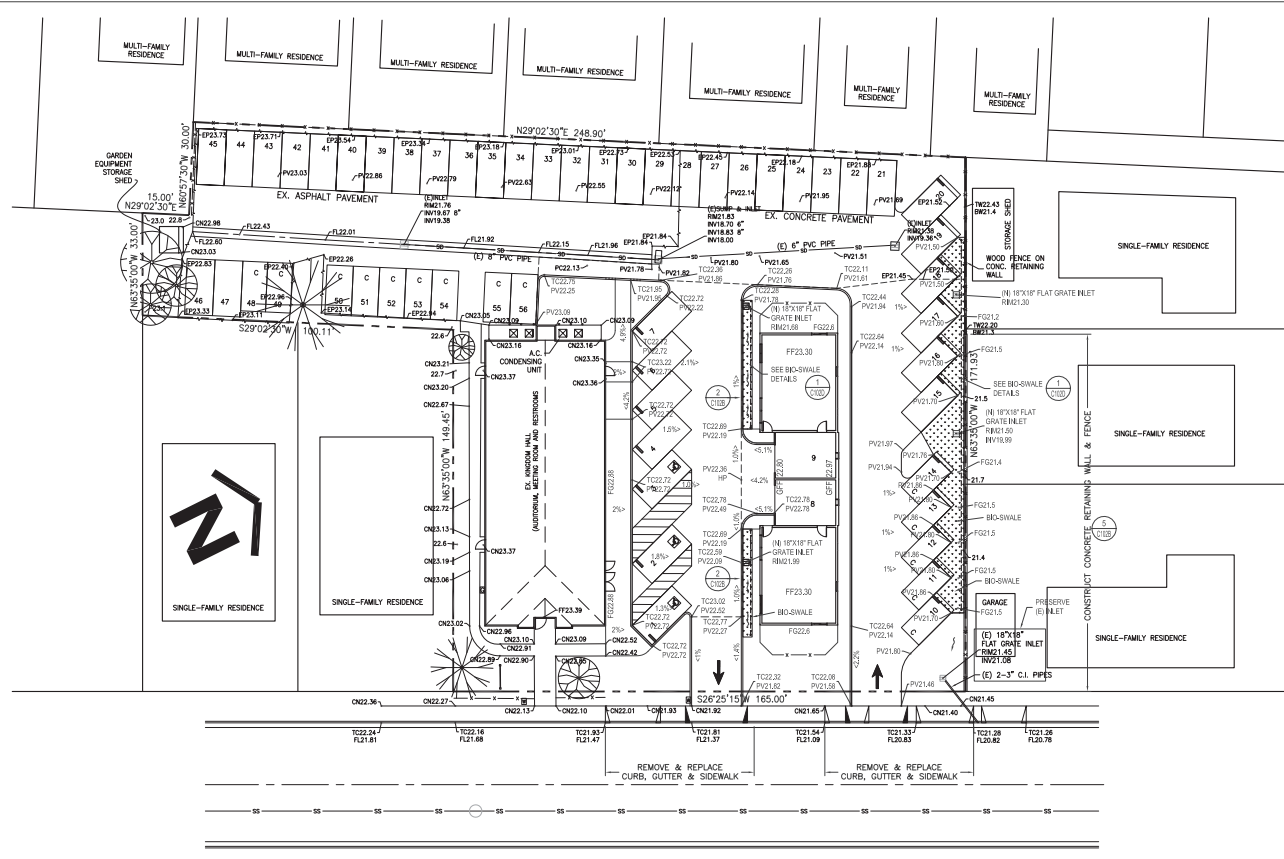
PLN 2000-00325

Case
F
 Attachment

C101

- LEGEND**
- CURB
 - - - FENCE LINE
 - STORM DRAIN
 - STORM MANHOLE
 - CHRISTY V-44 (18"X18") FLAT GRATE INLET
 - SEWER CLEANOUT

- ABBREVIATIONS:**
- A.B. AGGREGATE BASE ROCK
 - A.C. ASPHALT CONCRETE
 - B.W. BOTTOM OF WALL ELEVATION
 - C COMPACT FURNISHED SOIL
 - CN CONCRETE ELEVATION
 - CD CLEANOUT
 - EP EDGE OF PAVEMENT ELEVATION
 - FF FINISHED FLOOR ELEVATION
 - FG FINISHED GRADE
 - GB GRADE BREAK
 - HP HIGH POINT
 - INM INVERT OF PIPE
 - (N) NEW CONSTRUCTION
 - O.C. MEASUREMENT CENTER TO CENTER
 - PV PAVEMENT ELEVATION
 - PC POLYMINYLCHORIDE
 - SD STORM DRAIN
 - SS SANITARY SEWER
 - TC TOP OF CURB
 - TW TOP OF WALL ELEVATION



1 GRADING & DRAINAGE PLAN
C102 SCALE: 1" = 20'-0"

2nd AVENUE, REDWOOD CITY

- NOTES:**
- IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO IDENTIFY, LOCATE AND PROTECT ALL UNDERGROUND FACILITIES. CALL UNDERGROUND SERVICE ALERT (800) 442-2444 BEFORE BEGINNING ANY EXCAVATIONS. EXCAVATION FOR UNDERGROUND FACILITIES SHALL NOT BE PERMITTED PRIOR TO CONTACTING U.S.A. UNDERGROUND CIRCUMSTANCES WILL EXCAVATION COMMENCE BEFORE BEING ISSUED AN IDENTIFICATION NUMBER FORM U.S.A.
 - THE CONTRACTOR SHALL MAINTAIN THE STREETS, SIDEWALKS AND ALL OTHER PUBLIC RIGHTS-OF-WAY IN A CLEAN, SAFE AND USABLE CONDITION. ALL SPELLS OF SOIL, ROCK, OR CONSTRUCTION DEBRIS SHALL BE REMOVED FROM THE PUBLICLY OWNED PROPERTY DURING CONSTRUCTION AND UPON COMPLETION OF THE PROJECT. ALL ADJACENT PROPERTY, PRIVATE OR PUBLIC, SHALL BE MAINTAINED IN A CLEAN, SAFE AND USABLE CONDITION.
 - ALL WORK WITHIN THE PUBLIC RIGHT-OF-WAY SHALL BE DONE IN ACCORDANCE WITH THE CURRENT SPECIFICATIONS AND STANDARD DETAILS OF THE COUNTY OF SAN MATEO, AND REQUIRES AN ENCROACHMENT PERMIT.
 - THE CONTRACTOR SHALL CONFORM TO THE RULES AND REGULATIONS OF THE STATE CONSTRUCTION SAFETY ORDINANCE PERTAINING TO EXCAVATION AND TRENCHES.
 - THE CONTRACTOR SHALL CONDUCT ALL GRADING OPERATIONS IN SUCH A MANNER AS TO PRECLUDE WIND BLOWN DIRT AND DUST AND RELATED DAMAGE TO ADJACENT PROPERTIES. THE MEANS OF DUST CONTROL SHALL BE LEFT TO THE DISCRETION OF THE CONTRACTOR. THE CONTRACTOR SHALL ASSUME LIABILITY FOR CLAIMS RELATED TO WIND BLOWN MATERIAL.
 - THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR REPLACE ANY EXISTING SURFACE IMPROVEMENTS OR UNDERGROUND FACILITIES DAMAGED BY HIM, HIS SUBCONTRACTORS OR HIS MATERIAL SUPPLIERS.

- NOTES CONT':**
- NO GRADING WORK SHALL BE PERFORMED WITHIN THE DRIP-LINE OF EXISTING TREES SCHEDULED TO REMAIN EXCEPT AS SHOWN.
 - SUMP PUMP: ZOELLER MODEL M137 (1/2 HP, 115 V, 1 1/2" DISCHARGE) OR EQUAL.

EARTH MOVING QUANTITIES

APPROXIMATE QUANTITIES TO ESTABLISH SUBGRADE FOR THE DRIVEWAY AND PARKING AND PAD GRADE FOR THE BUILDING.

CUT:	
CONC. & A.C. PAVEMENT REMOVAL:	75 C.Y.
EARTH	175 C.Y.
FILL:	
	60 C.Y.
EXPORT:	190 C.Y.

- GRADING PERMIT NOT REQUIRED FOR THIS PROJECT PER GRADING ORDINANCE SECTION 803.1 FOR THE FOLLOWING REASONS:
- A BUILDING PERMIT WILL BE OBTAINED FOR EXCAVATION FOUNDATION.
 - NO UNSUPPORTED SLOPES GREATER THAN FEET IN COMPLETION OF BUILDING.
 - NO SITE EXCAVATIONS EXCEED 250 C.Y.



DATE	BY	REVISION
11/15/2014	SS/VA	UPDATED PER SAC COMMENTS
11/15/2014	SS/VA	
11/15/2014	SS/VA	

California Region #7 Design Team

Paul Johnson - Project Development
3000 Fremont Way, Suite 200
Livermore, CA 94550
Email: pauljohnson@caltrans.com



GRADING & DRAINAGE PLAN

MINISTERS APARTMENT
677 SECOND AVENUE, REDWOOD CITY, CA 95063
COUNTY OF SAN MATEO, CALIFORNIA

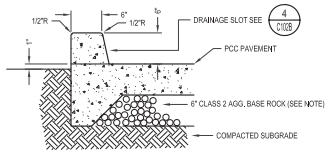
PROJECT NO. 315/2014
DATE: 3/15/2014
DRAWN: Zarc-C102A
DATE: 3/15/2014

Zoning Hearing Officer Meeting

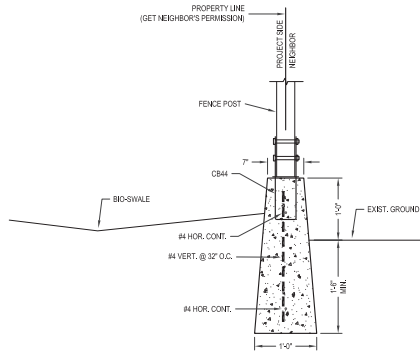
PLN 2000-00325

Case
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Attachment

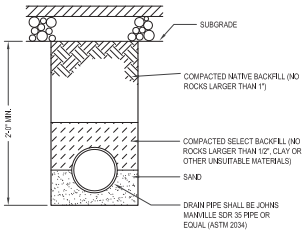
C102A



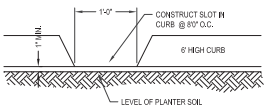
2 VERTICAL CURB DETAIL
SCALE: 1" = 1'-0"



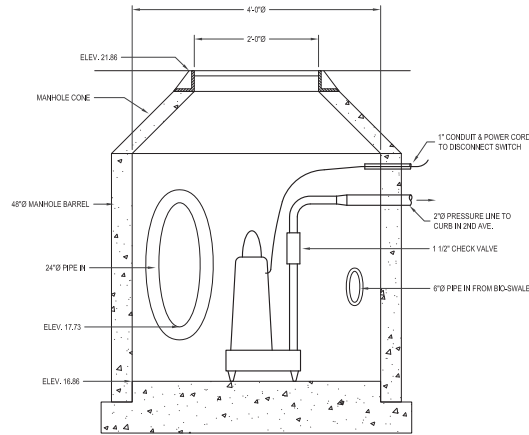
5 RETAINING WALL/FENCE
SCALE: 1" = 1'-0"



3 PIPE TRENCH BACKFILL DETAIL
SCALE: 1" = 1'-0"



4 DRAINAGE SLOT
SCALE: 1" = 1'-0"



6 SUMP PUMP DETAIL
SCALE: 1" = 1'-0"

NO.	REV.

**California Region #7
Design Team**

David Wilson - Project Development
3008 Fremont Way
Livermore, CA 94550
Email: dswilson@tdm.com



DETAILS

MINISTERS APARTMENT
677 SECOND AVENUE, REDWOOD CITY, CA 95063
COUNTY OF SAN MATEO, CALIFORNIA

DATE	TLR	DATE
SCALE	AS SHOWN	DATE
DATE	3/15/2014	DATE
FILE	Zarc-C102	DATE
SHEET NO.		DATE

Zoning Hearing Officer Meeting

PLN 2000-00325

Case
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Attachment

C102B

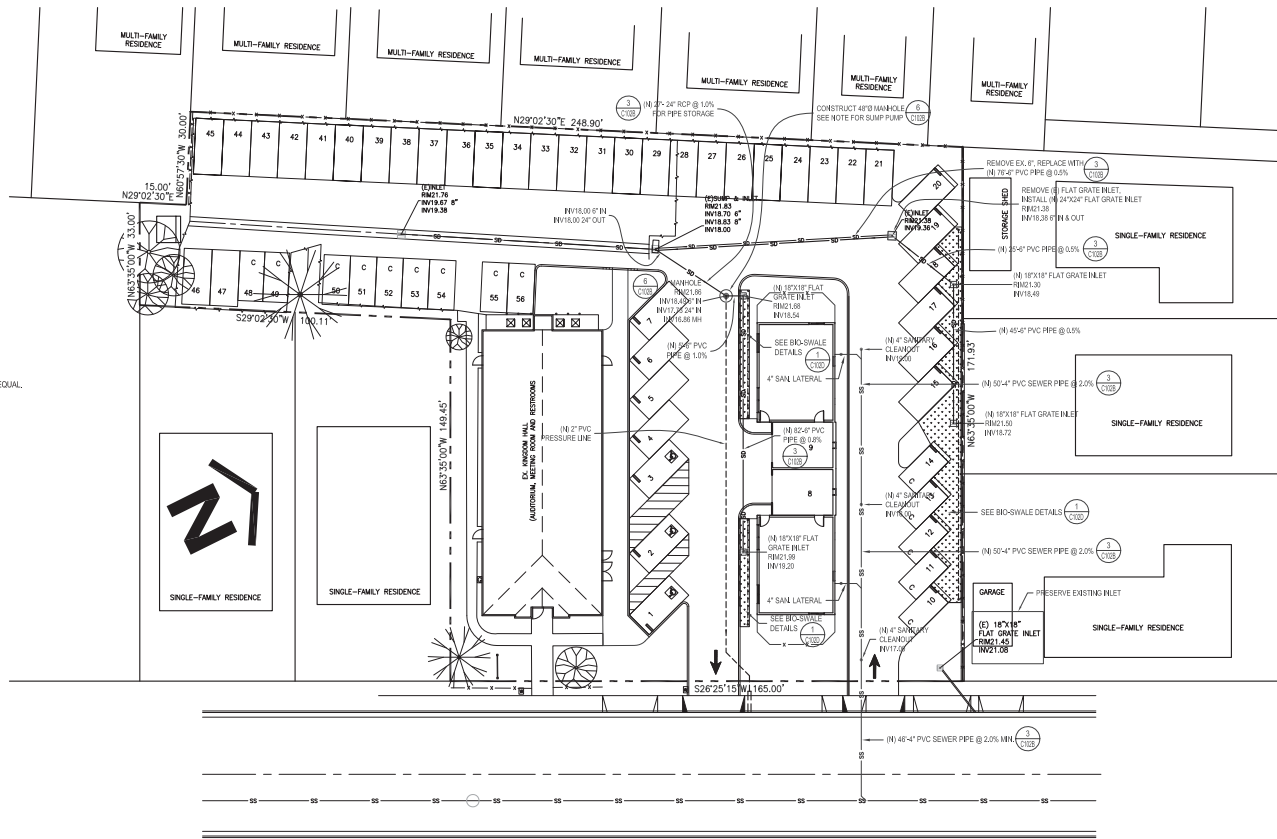
- LEGEND**
- CURB
 - - - FENCE LINE
 - S— S— STORM DRAIN
 - STORM MANHOLE
 - CHRISTY V-64 (18"X18") FLAT GRATE INLET
 - SEWER CLEANOUT

ABBREVIATIONS:

- A.B. AGGREGATE BASE ROCK
- A.C. ASPHALT CONCRETE
- BW BOTTOM OF WALL ELEVATION
- C COMPACT FAVORITE GRADE
- CN CONCRETE ELEVATION
- CD CLEANOUT
- (E) EXISTING
- EP EDGE OF PAVEMENT ELEVATION
- FF FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- G8 GRADE BREAK
- HP HIGH POINT
- IN/ INVERT OF PIPE
- (N) NEW CONSTRUCTION
- O.C. MEASUREMENT CENTER TO CENTER
- PV PAVEMENT ELEVATION
- SD POLYVINYLCHLORIDE STORM DRAIN
- SS SANITARY SEWER
- TC TOP OF CURB
- TW TOP OF WALL ELEVATION

NOTES:

1. SUMP PUMP: ZOELLER MODEL M137 (1/2 HP, 115 V, 1 1/2" DISCHARGE) OR EQUAL.



1. UTILITY PLAN
SCALE: 1"=20'

2nd AVENUE, REDWOOD CITY

DATE	BY	DESCRIPTION
03/14/14	SR/VA	UPDATED PER SDC COMMENTS
01/14/14	SR	

**California Region #7
Design Team**

Paul Williams - Project Development
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UTILITY PLAN

MINISTERS APARTMENT
677 SECOND AVENUE, REDWOOD CITY, CA 95063
COUNTY OF SAN MATEO, CALIFORNIA

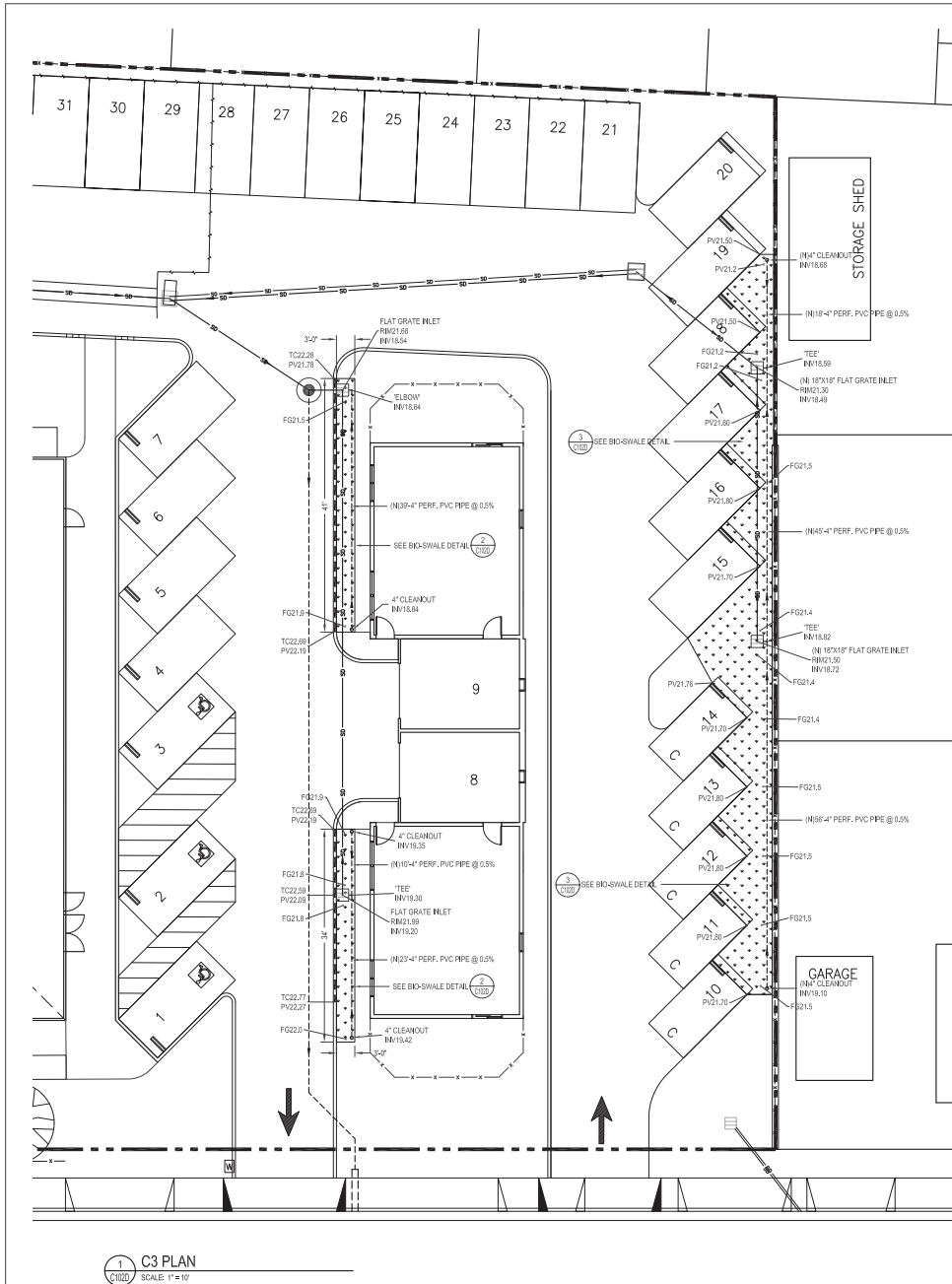
PROJECT	MINISTERS APARTMENT
DATE	TLR
STATUS	AS SHOWN
DATE	3/15/2014
FILE	Zarc-C102C
SHEET NO.	

Zoning Hearing Officer Meeting

PLN 2000-00325

Case
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Attachment

C102C



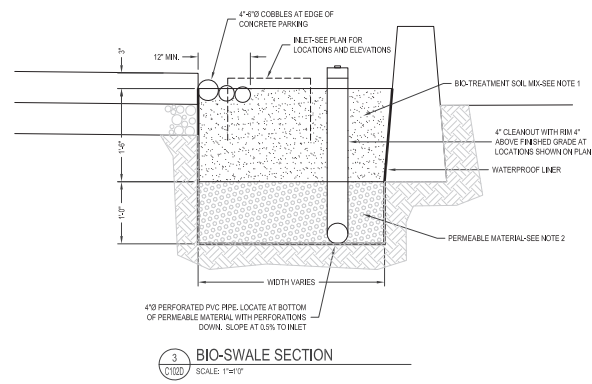
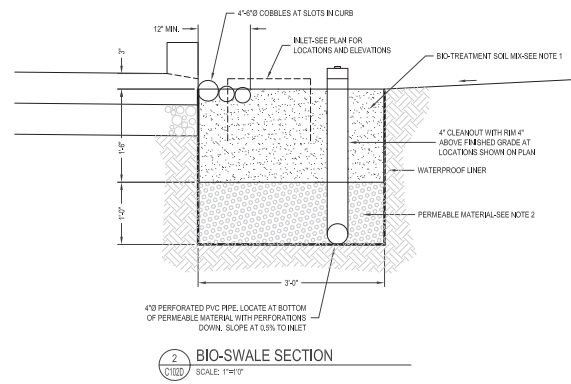
1 C3 PLAN
SCALE: 1" = 10'

LEGEND

—	CURB
—	FENCE LINE
—	STORM DRAIN
⊙	STORM MANHOLE
⊞	CHRISTY V-64 (18"X18") FLAT GRATE INLET
•	SEWER CLEANOUT

ABBREVIATIONS:

A.B.	AGGREGATE BASE ROCK
A.C.	ASPHALT CONCRETE
B.W.	BOTTOM OF WALL ELEVATION
C	COMPACT PARKING SPACE
CN	CONCRETE ELEVATION
CO	CLEANOUT
EP	EDGE OF PAVEMENT ELEVATION
FF	FINISHED FLOOR ELEVATION
FG	FINISHED GRADE
GB	GRADE BREAK
HP	HIGH POINT
IN/	INVERT OF PIPE
NI	NEW CONSTRUCTION
O.C.	MEASUREMENT CENTER TO CENTER
P.V.	PAVEMENT ELEVATION
PVC	POLYVINYLCHLORIDE
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB
TW	TOP OF WALL ELEVATION



NOTES:
 1. BIO-TREATMENT SOL MIX SHALL CONFORM TO THE SPECIFICATIONS OF THE REGIONAL WATER BOARD. THE MINIMUM PERCOLATION RATE FOR THE BIO-TREATMENT SOL IS 5 INCHES PER HOUR. THE LONG TERM DESIRED MAXIMUM INFILTRATION RATE IS 10 INCHES PER HOUR, ALTHOUGH INITIAL INFILTRATION RATE MAY EXCEED THIS TO ALLOW FOR TENDENCY OF INFILTRATION RATE TO REDUCE OVER TIME.
 2. PERMEABLE ROCK MATERIAL SHALL CONFORM TO CALTRANS SPECIFICATION SEC TION 68-1.025 PERMEABLE MATERIAL CLASS 2.

NO.	DATE	BY	REVISION
1	3/15/2014	ZARC	UPDATED PER SMC COMMENTS

California Region #7 Design Team
 Dan Williams - Project Development
 3028 Fremont Way
 Livermore, CA 94550
 Email: danw@gsd.com



C3 PLAN & DETAILS
MINISTERS APARTMENT
 677 SECOND AVENUE, REDWOOD CITY, CA 95063
 COUNTY OF SAN MATEO, CALIFORNIA

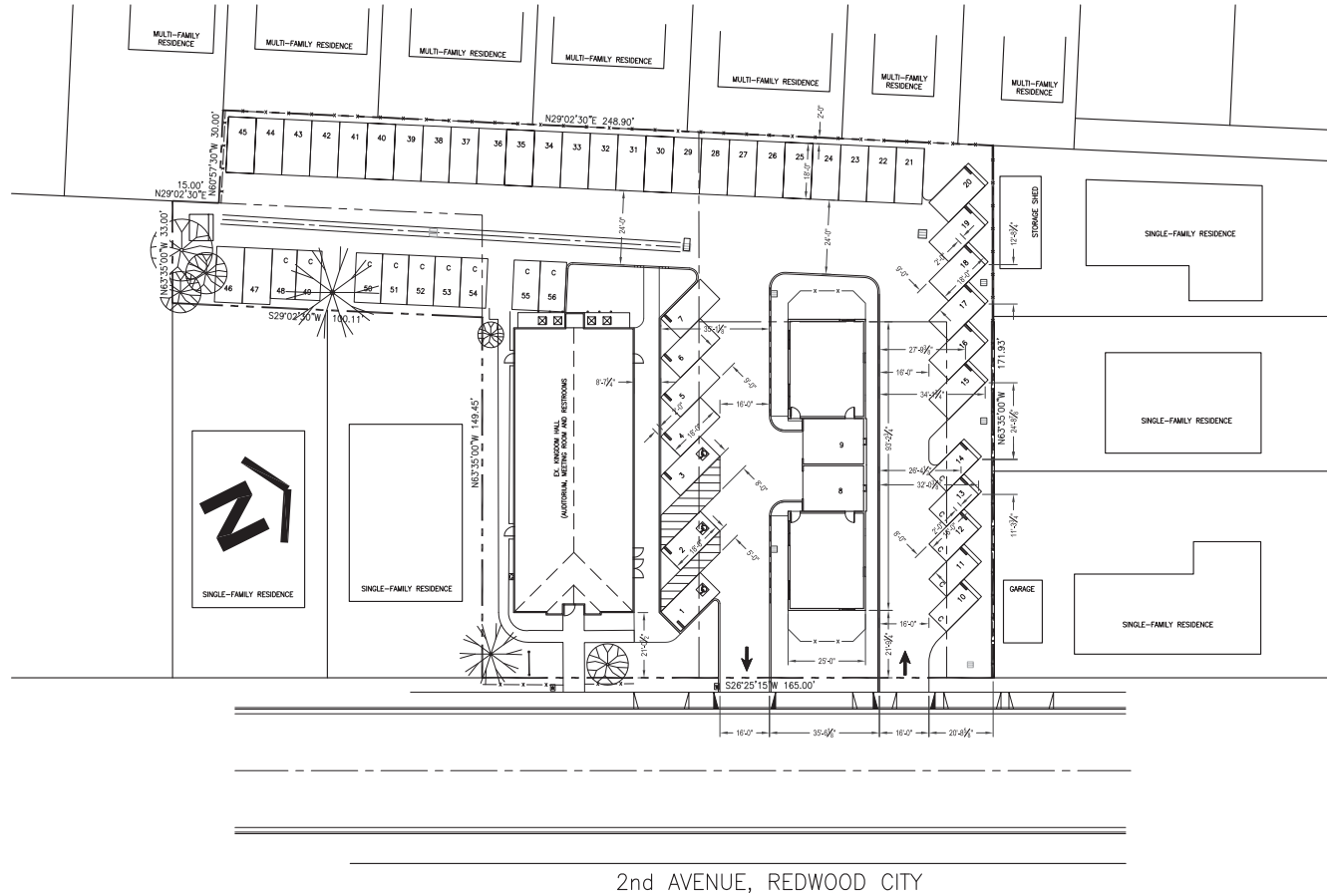
Zoning Hearing Officer Meeting
 PLN 2000-00325
 Case J
 Attachment

DATE	TLR	BY
3/15/2014	AS SHOWN	
DATE	3/15/2014	
FILE	Zarc-C102D	
SHEET NO.		

C102D

ABBREVIATIONS:

- A.B. AGGREGATE BASE ROCK
- A.C. ASPHALT CONCRETE
- B.W. BOTTOM OF WALL ELEVATION
- C COMPACT PARKING SPACE
- CM CONCRETE ELEVATION
- CO CLEWBUT
- FF FINISHED FLOOR ELEVATION
- FG FINISHED GRADE
- GB GRADE BREAK
- HP HIGH POINT
- INV INVERT OF PIPE
- O.C. MEASUREMENT CENTER TO CENTER
- PV PAVEMENT ELEVATION
- SD STORM DRAIN
- SS SANITARY SEWER
- TC TOP OF CURB
- TW TOP OF WALL ELEVATION



1 CONSTRUCTION DIMENSION PLAN
C103 SCALE: 1"=20'

NO.	DATE	REVISION

**California Region #7
Design Team**

Debra Miller - Project Development
3000 Fremont Way
Livermore, CA 94550
Email: debra@dmtd.com



CONSTRUCTION DIMENSION PLAN

MINISTERS APARTMENT
677 SECOND AVENUE, REDWOOD CITY, CA 95063
COUNTY OF SAN MATEO, CALIFORNIA

DATE	TLR	DATE	TLR
SCALE	AS SHOWN		
DATE	3/15/2014		
PLN	Zarc-C103		
SHEET NO.			

Zoning Hearing Officer Meeting

PLN 2000-00325

Case
K

Attachment

C103

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

- OWNER: WOODSIDE SPANISH CONGREGATION OF JEDHOVIA'S WITNESSES
1763 BEE STREET, SAN MATEO, CA 94403
CONTACT: _____
- IT SHALL BE THE OWNER'S RESPONSIBILITY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO KEEP THE ENTIRE SITE IN COMPLIANCE WITH THE SOIL EROSION CONTROL PLAN.
- THIS PLAN IS INTENDED TO BE USED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE USED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- DEVELOPER WILL SUBMIT TO THE CITY MONTHLY (AT THE FIRST OF EACH MONTH BETWEEN OCTOBER 15th AND APRIL 15th) CERTIFICATIONS THAT ALL EROSION/SEDIMENT MEASURES IDENTIFIED ON THE APPROVED EROSION CONTROL PLAN ARE IN PLACE. IF MEASURES ARE NOT IN PLACE, DEVELOPER SHALL PROVIDE THE CITY WITH A WRITTEN EXPLANATION OF WHY THE MEASURE IS NOT IN PLACE AND WHAT WILL BE DONE TO REMEDY THIS SITUATION.
- DINER/CONTRACTOR SHALL BE RESPONSIBLE FOR MONITORING EROSION AND SEDIMENT CONTROL MEASURES PRIOR, DURING, AND AFTER STORM EVENTS.
- REASONABLE CARE SHALL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE DEBRIS, PAPER OR ANY OTHER SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE REMEDY SHALL OCCUR.
- SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE.
- DURING THE RAINY SEASON, ALL PAVED AREAS SHALL BE KEPT CLEAR OF EARTH MATERIAL AND DEBRIS. THE SITE SHALL BE MAINTAINED SO AS TO MINIMIZE SEDIMENT LADEN RUNOFF TO ANY STORM DRAINAGE SYSTEM, INCLUDING EXISTING DRAINAGE SWALES AND WATER COURSES.
- CONSTRUCTION OPERATIONS SHALL BE CARRIED OUT IN SUCH A MANNER THAT EROSION AND WATER POLLUTION WILL BE MINIMIZED. STATE AND LOCAL LAWS CONCERNING POLLUTION ABATEMENT SHALL BE COMPLIED WITH. CONTRACTOR SHALL PROVIDE _____
- DUST CONTROL AS REQUIRED BY THE APPROPRIATE FEDERAL, STATE AND LOCAL AGENCY REQUIREMENTS.

EROSION AND SEDIMENT CONTROL MEASURES:

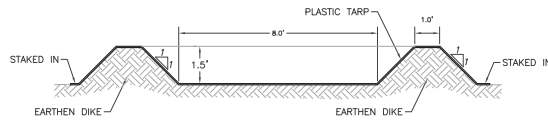
- THE FACILITIES SHOWN ON THIS PLAN ARE DESIGNED TO CONTROL EROSION AND SEDIMENT DURING THE RAINY SEASON, OCTOBER 15, TO APRIL 15. FACILITIES ARE TO BE OPERABLE PRIOR TO OCTOBER 1 OF ANY YEAR. DRAINING OPERATIONS DURING THE RAINY SEASON WHICH LEAVE ERODED SLOPES SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY FOLLOWING GRADING ON THE SLOPES.
- THIS PLAN COVERS ONLY THE FIRST WINTER FOLLOWING GRADING WITH ASSUMED SITE CONDITIONS AS SHOWN ON THE EROSION CONTROL PLAN. PRIOR TO SEPTEMBER 15, THE COMPLETION OF SITE IMPROVEMENTS SHALL BE EVALUATED AND REVISIONS MADE TO THIS PLAN AS NECESSARY WITH THE APPROVAL OF THE CITY ENGINEER. PLANS ARE TO BE RESUBMITTED FOR CITY APPROVAL PRIOR TO SEPTEMBER 1 OF EACH SUBSEQUENT YEAR UNTIL SITE IMPROVEMENTS ARE ACCEPTED BY THE CITY.
- CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF GRADING. ALL CONSTRUCTION TRAFFIC ENTERING ONTO THE PAVED ROADS MUST CROSS THE STABILIZED CONSTRUCTION ENTRANCE WAYS.
- CONTRACTOR SHALL MAINTAIN STABILIZED ENTRANCE AT EACH VEHICLE ACCESS POINT TO EXISTING PAVED STREET. ANY MUD OR DEBRIS TRACKED ONTO PUBLIC STREETS SHALL BE REMOVED DAILY AND AS REQUIRED BY THE CITY.
- IF HYDROSEEDING IS NOT USED OR IS NOT EFFECTIVE BY OCTOBER 10, THEN OTHER IMMEDIATE METHODS SHALL BE IMPLEMENTED, SUCH AS EROSION CONTROL BLANKETS, OR A THREE-STEP APPLICATION OF 1) SEED, MULCH, FERTILIZER, 2) BROWN STRAW, 3) TACKIFIER AND MULCH.
- INLET PROTECTION SHALL BE INSTALLED AT OPEN INLETS TO PREVENT SEDIMENT FROM ENTERING THE STORM DRAIN SYSTEM. INLETS NOT USED IN CONJUNCTION WITH EROSION CONTROL ARE TO BE BLOCKED TO PREVENT ENTRY OF SEDIMENT.
- THIS EROSION AND SEDIMENT CONTROL PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN IN THE FIELD. NOTIFY THE CITY REPRESENTATIVE OF ANY FIELD CHANGES.

MAINTENANCE NOTES:

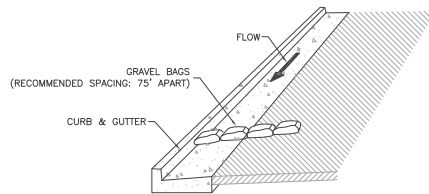
- MAINTENANCE IS TO BE PERFORMED AS FOLLOWS:
 - REPAIR DAMAGES CAUSED BY SOIL EROSION OR CONSTRUCTION AT THE END OF EACH WORKING DAY.
 - SWALES SHALL BE INSPECTED PERIODICALLY AND MAINTAINED AS NEEDED.
 - SEDIMENT TRAPS, BERMS, AND SWALES ARE TO BE INSPECTED AFTER EACH STORM AND REPAIRS MADE AS NEEDED.
 - SEDIMENT SHALL BE REMOVED AND SEDIMENT TRAP RESTORED TO ITS ORIGINAL DIMENSIONS WHEN SEDIMENT HAS ACCUMULATED TO A DEPTH OF 1 FOOT.
 - SEDIMENT REMOVED FROM TRAP SHALL BE DEPOSITED IN A SUITABLE AREA AND IN SUCH A MANNER THAT IT WILL NOT ERODE.
 - FILLS AND GULLIES MUST BE REPAIRED.
- SAND BAG INLET PROTECTIONS SHALL BE CLEANED OUT WHENEVER SEDIMENT DEPTH IS ONE HALF THE HEIGHT OF ONE SAND BAG.

MAINTENANCE MEASURES

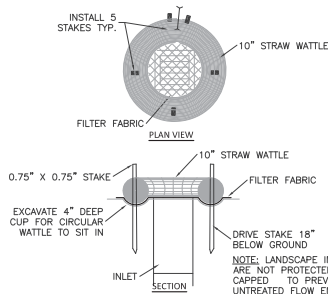
CONTROLS	INSPECTION FREQUENCY	MAINTENANCE/REPAIR MEASURES
STABILIZED CONSTRUCTION ENTRANCE	WEEKLY AND 2 BUSINESS DAYS (24 HOURS) AFTER QUALIFYING RAIN	REPLACE GRAVEL MATERIAL WHEN VOIDS ARE PRESENT REMOVE ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS WITHIN 24 HOURS REMOVE GRAVEL AT COMPLETION OF CONSTRUCTION
JUTE MAT	WEEKLY AND 2 BUSINESS DAYS (24 HOURS) AFTER QUALIFYING RAIN	REPAIR WHENEVER JUTE MAT IS DAMAGED REMOVE SEDIMENT WHEN IT REACHES 1/3 THE DEPTH OF THE JUTE MAT ESPECIALLY IF HEAVY RAINS ARE EXPECTED
FIBER ROLLS	WEEKLY AND 2 BUSINESS DAYS (24 HOURS) AFTER QUALIFYING RAIN	REPAIR WHENEVER FIBER ROLL IS DAMAGED REMOVE SEDIMENT WHEN IT REACHES 1/3 THE HEIGHT OF THE FIBER ROLL ESPECIALLY IF HEAVY RAINS ARE EXPECTED
STORM DRAIN INLET PROTECTION	WEEKLY AND 2 BUSINESS DAYS (24 HOURS) AFTER QUALIFYING RAIN	REPLACE CLOGGED FILTER FABRIC IMMEDIATELY REMOVE SEDIMENT WHEN THE DEPTH EXCEEDS 2/3 THE HEIGHT OF THE FILTER



CONCRETE TRUCK WASHOFF AREA
N.T.S.



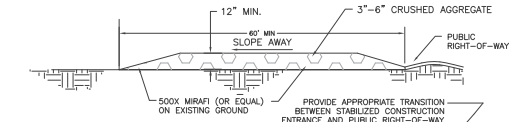
SAND/GRAVEL BAG CHECK DAM
N.T.S.



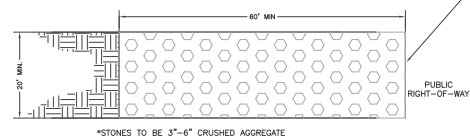
ALTERNATE FIBER ROLL INLET PROTECTION
"MAY BE USED IN LANDSCAPE AREA DRAINS"
N.T.S.

LEGEND

PROPOSED	DESCRIPTION
---	SITE BOUNDARY
[Symbol]	IF THE STREET IS NOT PAVED SEE THE INLET PROTECTION DETAIL ON THIS SHEET. IF THE STREET IS PAVED USE MODIFIED SILT SACK. (SEE DETAIL ON THIS SHEET)
[Symbol]	ALTERNATE FIBER ROLL INLET PROTECTION (SEE DETAIL ON THIS SHEET)
[Symbol]	FLAT GRATE INLET
[Symbol]	AREA DRAIN INLET
[Symbol]	SILT FENCE AND 10" FIBER ROLL ALONG PERIMETER
[Symbol]	STABILIZED CONSTRUCTION ENTRANCE 2"-3" ROCK (MIN)
[Symbol]	CONCRETE TRUCK WASHOFF AREA CONTRACTOR CAN MOVE LOCATION AS NEEDED
[Symbol]	FIBER ROLL
[Symbol]	SAND/GRAVEL BAG CHECK DAM

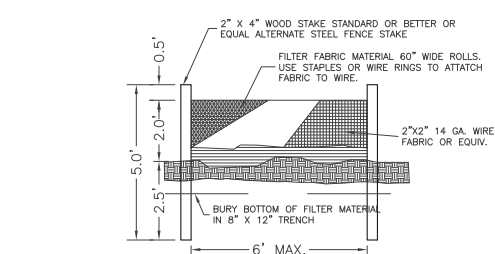


STABILIZED CONSTRUCTION ENTRANCE
N.T.S.

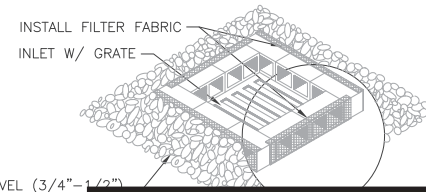
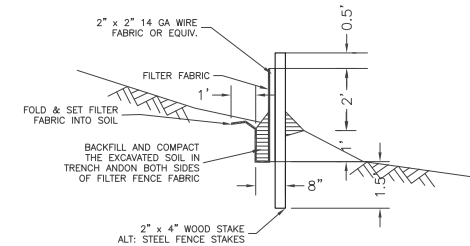


MAINTENANCE:

THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY SHALL BE REMOVED IMMEDIATELY. WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. THIS SHALL BE DONE AT AN AREA STABILIZED WITH CRUSHED STONE, WHICH DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



SILT FENCE DETAIL
N.T.S.



GRAVEL (3/4"-1 1/2")
2:1 S

NO.	DATE	REVISION

California Region #7 Design Team

Paul Miller - Project Development
3000 Fremont Way
Livermore, CA 94550
Phone: 925-462-1000
Email: paulm@caltrans.com



EROSION CONTROL NOTES & DETAILS

MINISTERS APARTMENT
677 SECOND AVENUE, REDWOOD CITY, CA 95063
COUNTY OF SAN MATEO, CALIFORNIA

DATE	TLR	BY
SCALE	AS SHOWN	
DATE	3/15/2014	
FILE	Zarc-C104A	
SHEET NO.		

Zoning Hearing Officer Meeting

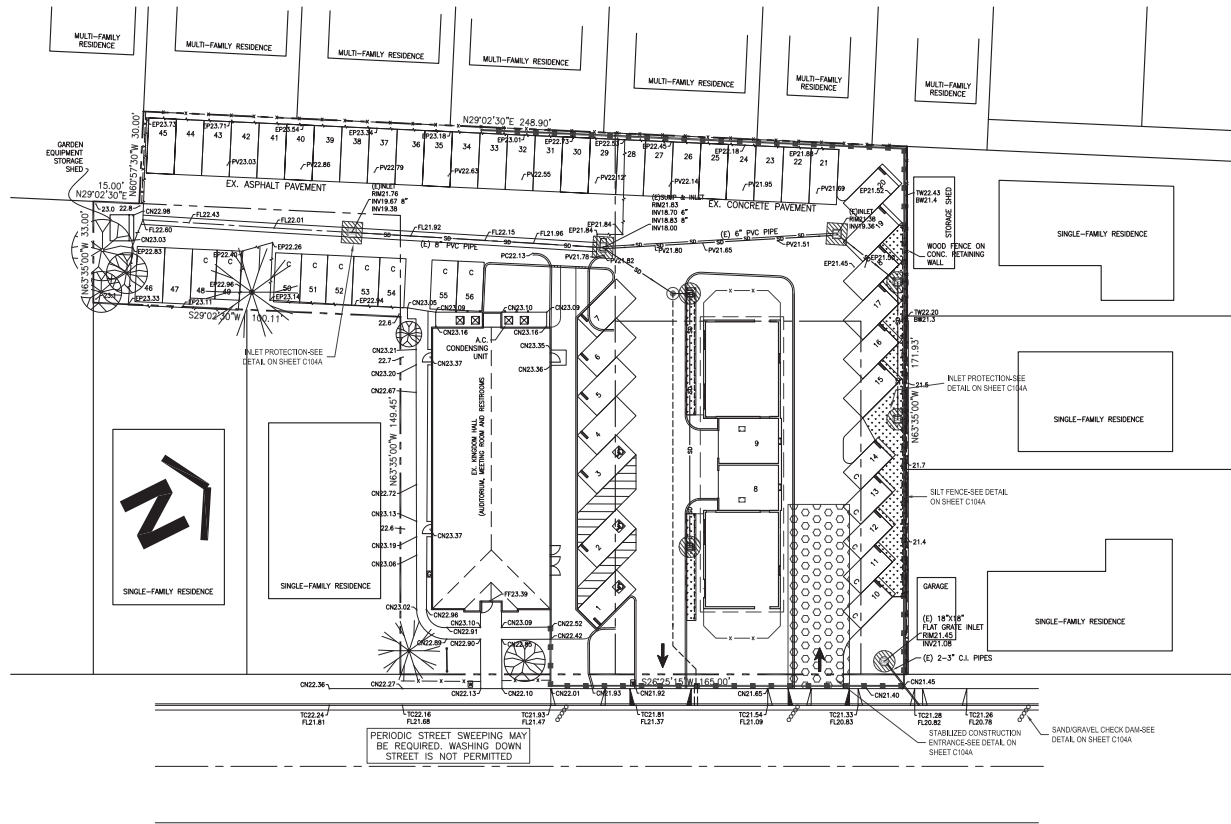
PLN 2000-00325

Case
L
Attachment

C104A

LEGEND

PROPOSED	DESCRIPTION
	SITE BOUNDARY
	IF THE STREET IS NOT PAVED SEE THE INLET PROTECTION DETAIL ON THIS SHEET ; IF THE STREET IS PAVED, USE MODIFIED SILT SACK. (SEE DETAIL ON THIS SHEET)
	ALTERNATE FIBER ROLL INLET PROTECTION (SEE DETAIL ON THIS SHEET)
	FLAT GRATE INLET
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	STABILIZED CONSTRUCTION ENTRANCE 2"-3" ROCK (MIN)
	CONCRETE TRUCK WASHOFF AREA CONTRACTOR CAN MOVE LOCATION AS NEEDED
	FIBER ROLL
	SAND/GRAVEL BAG CHECK DAM



2nd AVENUE, REDWOOD CITY

1 EROSION CONTROL PLAN
C104B SCALE: 1" = 20'-0"

NO.	DATE	DESCRIPTION
1	05/14	UPDATED PER SDC COMMENTS

California Region #7 Design Team
 Derek Mason - Project Development
 Livermore, CA 94550
 Phone: (925) 915-2273
 Email: dmason@agteam.com



EROSION CONTROL PLAN
MINISTERS APARTMENT
 677 SECOND AVENUE, REDWOOD CITY, CA 95063
 COUNTY OF SAN MATEO, CALIFORNIA

DATE	BY	CHK
05/14	TLR	TLR
05/14	AS SHOWN	
03/15/2014		
2arc-C104B		

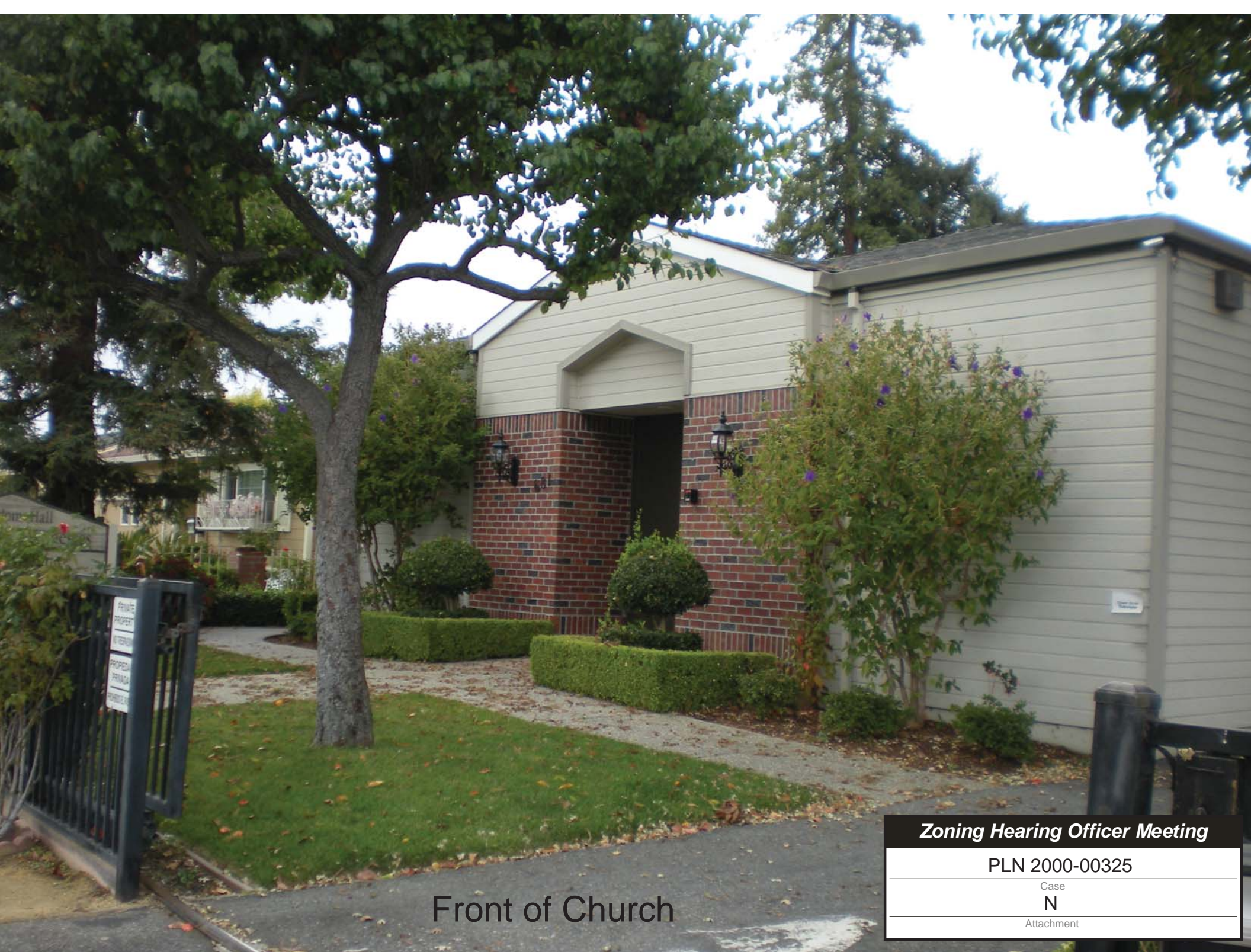
Zoning Hearing Officer Meeting
PLN 2000-00325
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C104B



Vacant Project Site

Zoning Hearing Officer Meeting
PLN 2000-00325
Case N
Attachment



Front of Church

Zoning Hearing Officer Meeting
PLN 2000-00325
Case N
Attachment



Existing Drive

Zoning Hearing Officer Meeting
PLN 2000-00325
Case
N
Attachment



ACCESS
NO PARKING at
UNAUTHORIZED VEHICLES WILL BE
TOWED AWAY AT VEHICLE OWNER'S EXPENSE
C.V.C. 22658A R.C.P.D. 780-7100

PRIVATE
PROPERTY
NO TRESPASSING
PROPIEDAD
PRIVADA
PROHIBIDO EL PASO

Existing Drive

Zoning Hearing Officer Meeting

PLN 2000-00325

Case
N

Attachment



Rear Parking Lot

Zoning Hearing Officer Meeting

PLN 2000-00325

Case

N

Attachment



Rear Parking Lot

Zoning Hearing Officer Meeting
PLN 2000-00325
Case N
Attachment



Rear of church

Zoning Hearing Officer Meeting

PLN 2000-00325

Case

N

Attachment