

0.08 0 0.04 0.08 Miles

WGS_1984_Web_Mercator_Auxiliary_Sphere
© Latitude Geographics Group Ltd.

1:2,690



This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Application for Design Review by the County Coastside Design Review Committee

Planning and Building Department

County Government Center ■ 455 County Center ■ Redwood City CA 94063
Mail Drop PLN 122 ■ 650 • 363 • 4161 ■ FAX 650 • 363 • 4849

Permit #: PLN 2016-00452

Other Permit #: _____

APPLICANT INFORMATION

Applicant:

Name: DOUGLAS SNOW ARCHITECT

Address: 216 KELLY AVE

HMB, CA Zip: 94019

Phone, W: 909 890 7350 H: —

Email: _____

Owner (if different from Applicant):

Name: JAN & ROBE WYER

Address: 633 LANCASTER BLVD

MOSS BEACH, CA Zip: 94038

Phone, W: 650 563 9245 H: _____

Email: _____

Architect or Designer (if different from Applicant):

Name: _____

Address: _____

Zip: _____

Phone, W: _____

H: _____

Email: _____

PROJECTSIC INFORMATION

Project location:

APN: 037-151-300

Address: 633 LANCASTER BLVD

MOSS BEACH, CA Zip: 94038

Zoning: S-17

Parcel/lot size: 5000 sq. ft.

Site Description:

- Vacant Parcel
- Existing Development (Please describe):

3 LEVEL 3 BEDROOM RESIDENCE

PROJECT DESCRIPTION

Project:

- New Single Family Residence: _____ sq. ft
- Addition to Residence: 260.8 sq. ft
- Other: _____

Describe Project:

ENCLOSE 2ND STORY PIECE FOR A (N) 216SF MUSIC ROOM, REMODEL ADJACENT MASTERBATH, ADD 44.8 SF NOOK @ MIDDLE LEVEL CONSTRUCT NEW STAIRWAY AND ACCESS TO LOWER LEVEL, CHANGE WOOD DECK RAIL TO SEE THRU STAINLESS STEEL WIRE & SS. STANDARD GAURDRAIL

Additional Permits Required:

- Certificate of Compliance Type A or Type B
- Coastal Development Permit
- Fence Height Exception (not permitted on coast)
- Grading Permit or Exemption
- Home Improvement Exception
- Non-Conforming Use Permit
- Off-Street Parking Exception
- Variance

4. Materials and Finish of Proposed Buildings or Structures

Fill in Blanks:	Material	Color/Finish <small>(If different from existing, attach sample)</small>	Check if matches existing
a. Exterior walls	<u>PAINTED T-11</u>	<u>SEE COLOR BOOK</u>	<input checked="" type="checkbox"/>
b. Trim	<u>"</u>	<u>"</u>	<input checked="" type="checkbox"/>
c. Windows	<u>ALUMINUM - DARK ANODIZED</u>	<u>"</u>	<input checked="" type="checkbox"/>
d. Doors	<u>STAINED</u>	<u>"</u>	<input checked="" type="checkbox"/>
e. Roof	<u>COMPOSITION SHINGLE</u>	<u>"</u>	<input checked="" type="checkbox"/>
f. Chimneys	<u>EXISTING T-11</u>	<u>"</u>	<input checked="" type="checkbox"/>
g. Decks & railings	<u>STAINLESS STEEL</u>	<u>NEW</u>	<input type="checkbox"/>
h. Stairs	<u>REDWOOD</u>	<u>"</u>	<input checked="" type="checkbox"/>
i. Retaining walls	<u>REDWOOD @ PLANTER</u>	<u>"</u>	<input checked="" type="checkbox"/>
j. Fences	<u>NONE</u>	<u>-</u>	<input checked="" type="checkbox"/>
k. Accessory buildings	<u>NONE</u>	<u>-</u>	<input type="checkbox"/>
l. Garage/Carport	<u>EXISTING DOOR STAINED</u>	<u>"</u>	<input checked="" type="checkbox"/>

5. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the required findings that the project does conform to the standards and guidelines for design review applicable to the location of the project pursuant to Section 6565.10.

(optional) Applicant's Statement of project compliance with standards and guidelines (check if attached).

6. Signatures

I hereby certify that the information stated above and on forms, plans, and other materials submitted herewith in support of the application is true and correct to the best of my knowledge. It is my responsibility to inform the County of San Mateo through my assigned project planner of any changes to information represented in these submittals.

Owner: _____ Applicant: *[Signature]*

Date: _____ Date: 3/18/16

Planning and Building Department

455 County Center, 2nd Floor • Redwood City, CA • 94063
Mail Drop: PLN 122 • TEL (650) 363-4161 • FAX (650) 363-4849

**Certificate of Exemption
or Exclusion from a Coastal
Development Permit**

Permit #: PLN 2016-00452
Permit #: BLD _____

Permanent Record
Microfilming Required

1. Basic Information

Owner
Name: JAN & POLPE WYER
Address: 623 LANCASTER BLVD
MOSS BEACH, CA
Zip: 94038
Phone, W: _____ H: 650 563 9215
Email Address: _____

Applicant
Name: DOUGLAS SNOW
Address: 216 KELLY AVE
HMB, CA
Zip: 94019
Phone, W: 709 8907350 H: _____
Email Address: _____

2. Project Information

Project Description:
ADD 260.8 SF TO (E) 1890 SF
RESIDENCE = 2151.3 TOTAL

Assessor's Parcel Number(s):
037 - 151 - 300

Existing water source:
 Utility connection _____
 Well _____
Proposed water source:
 Utility connection _____
 Well _____
Staking of well location and property lines are required.
 Provide site plan depicting location and all trees.
 Will this require any grading or vegetation/tree removal? Yes No
If Yes, additional permits may be required. Such as: Tree Removal Permit, Grading Permit, Land Clearing Permit, Coastal Development Permit.

3. Signatures

We have reviewed this form as completed above and the basis for this exemption or exclusion. The information herein and the basis for exemption or exclusion are true and correct to the best of our knowledge and we hereby agree to carry out this project in accordance with the terms of the exemption/exclusion category selected on reverse. We also understand and agree that any exemption or exclusion issued for a water well and/or storage tank in the single family exclusion area will be invalidated in the event the future house, the well, and/or storage tank requires a variance.

.....
Owner Date Applicant Date

(Both Owner and Applicant must sign unless this Application for Exemption or Exclusion accompanies a Building Permit Application for which the Applicant is an agent for the Owner acceptable to the Building Inspection Section.)

Staff Use Only

4. Basis of Exemption or Exclusion

Use attached review sheet to determine basis of exemption and whether project qualifies. Review basis of exemption with applicant/owner and initial appropriate category below.

Initial

- | | |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><input type="checkbox"/> A. Improvements to Existing Single Family Residence. [PRC 30610(a), CCAG 13250, ZR 6328.5(a)]</p> <p><input type="checkbox"/> B. Improvements to Existing Structure Other Than Single Family Residence or Public Works Facility. [PRC 30610(b), CCAG 13253, ZR 6328.5(b)]</p> <p><input type="checkbox"/> C. Existing Navigation Channel. [PRC 30610(c), ZR 6328.5(c)]</p> <p><input type="checkbox"/> D. Repair or Maintenance Activity. [PRC 30610(d), CCAG 13252, ZR 6328.5(d)]</p> <p><input type="checkbox"/> E. Single Family Residence Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, AB 643, ZR 6328.5(e)]</p> | <p><input type="checkbox"/> F. Agriculturally-Related Development Categorical Exclusion Area. [PRC 30610(e), CCAG 13240, ORDERS E-79-7 and E-81-1, ZR 6328.5(e)]</p> <p><input type="checkbox"/> G. Utility Connections. [PRC 30610(f), ZR 6328.5(f)]</p> <p><input type="checkbox"/> H. Replacement of Structures Following Disasters. [PRC 30610(g), ZR 6328.5(g)]</p> <p><input type="checkbox"/> I. Emergency Activities. [PRC 30611, ZR 6328.5(h)]</p> <p><input type="checkbox"/> J. Lot Line Adjustment. [ZR 6328.5(i)]</p> <p><input type="checkbox"/> K. Land Division for Public Recreation Purposes. [ZR 6328.5(j)]</p> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

5. Well Inspection - All Coastal Zone Areas

- Required Not Required

Inspection made by: _____ Date of Inspection: _____

Yes	No	
<input type="checkbox"/>	<input type="checkbox"/>	Removal of trees?
<input type="checkbox"/>	<input type="checkbox"/>	If Yes, is tree removal permit included?
<input type="checkbox"/>	<input type="checkbox"/>	Trimming of trees?
<input type="checkbox"/>	<input type="checkbox"/>	Excessive removal of vegetation?
<input type="checkbox"/>	<input type="checkbox"/>	Excessive grading? (If Yes, CDP is required)
<input type="checkbox"/>	<input type="checkbox"/>	Erosion control plan required?

Approval of Permit is subject to the following: (check if applicable)

- Submittal and Approval of a Tree Removal Permit
- Submittal and Approval of a Grading Permit
- Submittal and Approval of an Erosion Control Plan
- Submittal and Approval of a Coastal Dev. Permit

6. Approval

I have reviewed the above-described project and have determined that it meets all criteria for the exemption/exclusion checked above.

Exemption/Exclusion is approved.

 Planning Department _____ Date _____

Project is subject to the following condition(s) of approval: _____

7. Processing

- | | |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><input type="checkbox"/> Fee collected</p> <p><input type="checkbox"/> Original Certificate of Exemption to Building Inspection file.</p> <p><input type="checkbox"/> Copies of Certificate of Exemption to:</p> <ol style="list-style-type: none"> 1. Applicant/Owner. 2. Planning Department Exemption Binder. | <ol style="list-style-type: none"> 3. Any relevant Planning or Building Inspection files. 4. California Coastal Commission, 45 Fremont Street, Suite 2000, San Francisco, CA 94105 <p><input type="checkbox"/> Update Permit*Plan Case Screen and Activities</p> |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

Environmental Information Disclosure Form

PLN 2016-00452
 BLD _____

Project Address:
633 LANCASTER BOULEVARD
MOSS BEACH, CA
 Assessor's Parcel No.: 037-151-300
 Zoning District: S-17

Name of Owner: JAN AND ROLFE WYER
 Address: 633 LANCASTER BLVD
MOSS BEACH, CA Phone: 650 563 9215
 Name of Applicant: DOUGLAS SNOW ARCHITECT
 Address: 210 KELLY AVE
HMB, CA 94019 Phone: 909 890 7330

Existing Site Conditions

Parcel size: 5000 SF

Describe the extent and type of all existing development and uses on the project parcel, including the existence and purpose of any easements on the parcel, and a description of any natural features on the project parcel (i.e. steep terrain, creeks, vegetation). 26013 SF ADDITION TO A SINGLE 3 BEDROOM RESIDENCE ON DOWNHILL SITE OFF OF AN UPHILL STREET ACCESS

Environmental Review Checklist

1. California Environmental Quality Act (CEQA) Review

Yes	No	Will this project involve:
<input checked="" type="checkbox"/>	<input type="checkbox"/>	a. Addition to an existing structure > 50% of the existing area OR > 2,500 sq. ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	b. Construction of a new multi-family residential structure having 5 or more units?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	c. Construction of a commercial structure > 2,500 sq.ft?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	d. Removal of mature tree(s) (≥ 6" d.b.h. in Emerald Lake Hills area or ≥ 12" d.b.h. in any residential zoning district)? If yes, how many trees to be removed? _____
<input type="checkbox"/>	<input checked="" type="checkbox"/>	e. Land clearing or grading? If yes, please state amount in cubic yards (c.y.): Excavation : _____ c.y. Fill: _____ c.y.
<input type="checkbox"/>	<input checked="" type="checkbox"/>	f. Subdivision of land into 5 or more parcels?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	g. Construction within a State or County scenic corridor?
<input type="checkbox"/>	<input type="checkbox"/>	h. Construction within a sensitive habitat?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	i. Construction within a hazard area (i.e. seismic fault, landslide, flood)?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	j. Construction on a hazardous waste site (check with Co. Env. Health Division)?

Please explain all "Yes" answers:

940273

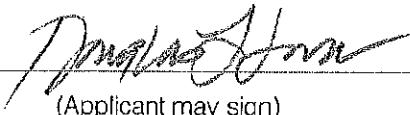
Signature required on reverse →

2. National Marine Fisheries Rule 4(d) Review		
Yes	No	Will the project involve:
	✓	a. Construction outside of the footprint of an existing, legal structure?
✓		b. Exterior construction within 100-feet of a stream?
	✓	c. Construction, maintenance or use of a road, bridge, or trail on a stream bank or unstable hill slope?
	✓	d. Land-use within a riparian area?
	✓	e. Timber harvesting, mining, grazing or grading?
	✓	f. Any work inside of a stream, riparian corridor, or shoreline?
	✓	g. Release or capture of fish or commerce dealing with fish?
Please explain any "Yes" answers:		
STREAM BEYOND REAR PROPERTY LINE		
PROPOSED DRYWELL COLLECTS ALL RAINWATER		
CAPTURED BY (E) & (N) GUTTERS		

3. National Pollutant Discharge Elimination System (NPDES) Review		
Yes	No	Will the project involve:
	✓	a. A subdivision or Commercial / Industrial Development that will result in the addition or replacement of <u>10,000 sq. ft. or more of impervious surface?</u> If yes, Property Owner may be required to implement appropriate source control and site design measures and to design and implement stormwater treatment measures, to reduce the discharge of stormwater pollutants. Please consult the Current Planning Section for necessary forms and both construction and post-construction requirements.
	✓	b. <u>Land disturbance of 1 acre or more of area?</u> If yes, Property Owner must file a Notice of Intent (NOI) to be covered under the statewide General Construction Activities Storm Water Permit (General Permit) prior to the commencement of construction activity. Proof of coverage under State permit must be demonstrated prior to the issuance of a building permit.

Certification

I hereby certify that the statements furnished above and in the attached exhibits present the data and information required for this initial evaluation to the best of my ability, and the facts, statements and information presented are true and correct to the best of my knowledge and belief. **If any of the facts represented here change, it is my responsibility to inform the County.**

Signed:  Date: 10/12/16
(Applicant may sign)

Application for a Home Improvement Exception

Companion Page

Applicant's Name: ROVELAS SNOW ARCHITECT
Primary Permit#: PLN 2016-00452

1. Instructions

Please fill out the general Planning Permit Application Form and this form when applying for a Home Improvement Exception. You must also submit all items indicated on the checklist found on the reverse side of the Planning Permit Application Form and a parcel & building constraints map.

2. Project Information

Specific zoning requirements for which a Home Improvement Exception is sought:

(Example: 10 ft. side setbacks)

10 FT SIDNEYARD SETBACK

Zoning ordinance section numbers:
63001.2.3

What you propose instead:

WHEN THIS PROJECT WAS CONSTRUCTED
THERE WERE DIFFERENT SIDNEYARD
SETBACKS
ON THE SIDE OF THE
SECOND STORY ADDITION I PROPOSE
USING THE EXISTING 5.8' SIDNEYARD
SETBACK
ALSO MY CLIENT HAS AGREED
TO THE REMOVAL OF A STAIRWAY
WHICH ENCLOSES INTO THIS
SIDNEYARD IN THIS SAME AREA

3. Required Findings

To approve this application, the County must determine that this project complies with all applicable regulations including the following specifically required findings. Please attach a brief statement in which you present evidence to support the required findings.

- a. The existing structure has a design or there are conditions applicable to the property such that the proposed project would result in only minor changes.
- b. The home improvement exception sustains the integrity or enhances an existing design concept or the neighborhood character.
- c. The granting of the application will not be detrimental or injurious to property or improvements in the vicinity and will not be detrimental to the public health, safety, general welfare, or convenience.
- d. The home improvement exception authorizes only uses or activities which are permitted by the zoning district.
- e. The home improvement exception is consistent with the objectives of the General Plan and the Zoning Regulations.

Design Statement

10/18/16

This project is challenging in that the master bedroom facing the street has a 4'-6" plate line and an 8 in 12 pitch. The program is to enclose a deck over the garage. I chose to slope the new roof away from the street so as to soften the visual impact and be consistent with this neighborhood's scale.

Respectfully submitted,

Dennis Sinner Architect and Artist

RECEIVED

OCT 19 2016

San Mateo County
Planning and Building Department

PH 2016-00452

10/18/16
YMF

COLOR BOARD FOR ADDITION & REMODEL LOCATED AT
633 LANCASTER BOULEVARD
MOSS BEACH, CALIFORNIA
FOR: JAN & ROLFE WYER

RECEIVED

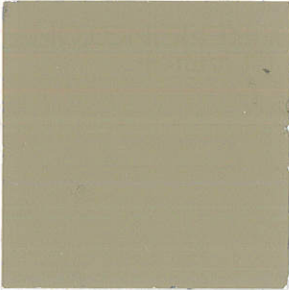
MAY 09 2017

San Mateo County
Planning Division



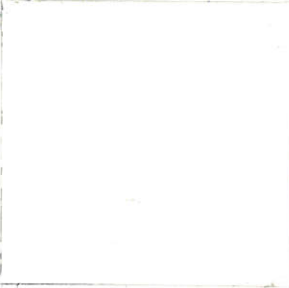
ROOF

MATCH EXISTING



WALL

N-W29^N URBAN KHAKI



TRIM

CW-C1^U SILENT WHITE



N-W32^N
Star Anise

DECK FRAMING

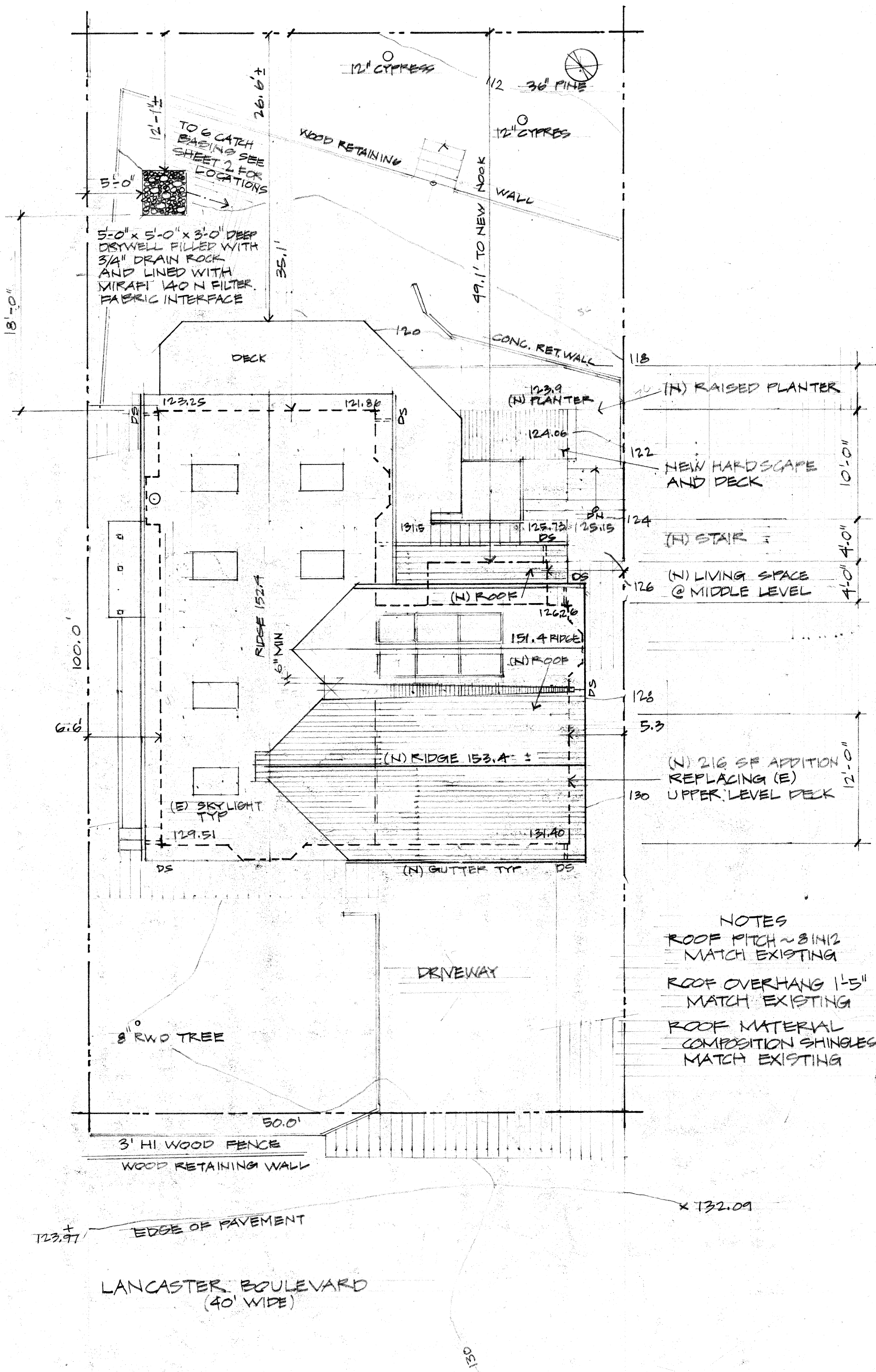
N-32^N STAR ANISE

COLORS: MFG. BY CLARK + KENSINGTON

NOTE: COLORS AND MATERIALS MATCH EXISTING ±

PREPARED BY DOUGLAS SNOW ARCHITECT

PHONE OR TEXT 909 870 7350



OWNERS

JAN AND ROLFE WYER
 633 LANCASTER BOULEVARD
 MOSS BEACH, CALIFORNIA 94038
 PHONE 650 563 9215

LEGAL DESCRIPTION

LOTS 35 & 36 BLOCK 5
 RESUBDIVISION OF
 "MARINE VIEW TERRACE TRACT"
 BOOK 5 MAPS 39

SHEET INDEX

- 1 SITE PLAN - ROOF PLAN
- 2 LOWER LEVEL FLOOR PLAN
- 3 MIDDLE LEVEL FLOOR PLAN
- 4 UPPER LEVEL FLOOR PLAN
- 5 NORTH EXTERIOR ELEVATION
- 6 EAST EXTERIOR ELEVATION
- 7 SOUTH EXTERIOR ELEVATION
- 8 WEST EXTERIOR ELEVATION
- 9 OBSCURED PARTIAL WEST EXT. ELEVATION
- 10 BOUNDARY & TOPOGRAPHIC SURVEY

S-17 ZONING REQUIREMENTS

	EXIST'S	NEW	TOTAL
LOWER LEVEL	242.5 SF	0	242.5
MIDDLE LEVEL	904 SF	44.8 SF	948.8 SF
UPPER LEVEL	180 SF	216.0 SF	396.0 SF
(E)+(N) TOTAL			1587.3
EXIST'S REMODELED & TOTAL			
MIDDLE LEVEL	395.5 SF	350.0	
DECK & STAIR			

FOOTPRINT 949 SF + 350 SF = 1299 SF

ALLOWABLE FOOTPRINT OR COVERAGE

LOT AREA 50 X 100 = 5000 SF

.35 X 5000 = 1750 SF

949 SF + 350 SF = 1299 SF < 1750 SF OK

BUILDING FLOOR AREA

.53 - ((5000 - PARCEL SIZE) X .0002 X PARCEL SIZE

.53 - ((5000 - 5000) X .0002) X 5000 = 2650 SF

1587 SF < 2650 SF OK

BUILDING HEIGHT

EXISTING SLOPE 19% < 30% OK

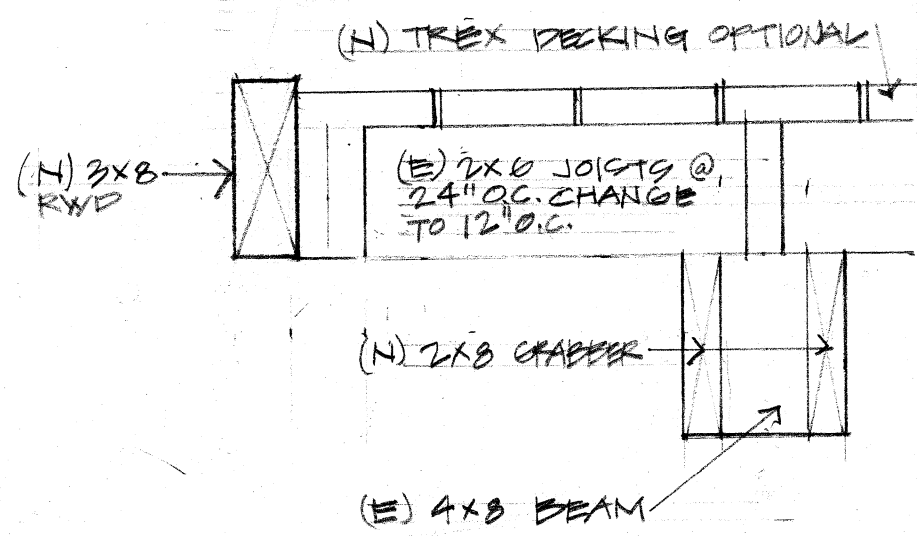
MAXIMUM BUILDING HEIGHT 28'

ACTUAL BUILDING HEIGHTS 24' & 18'

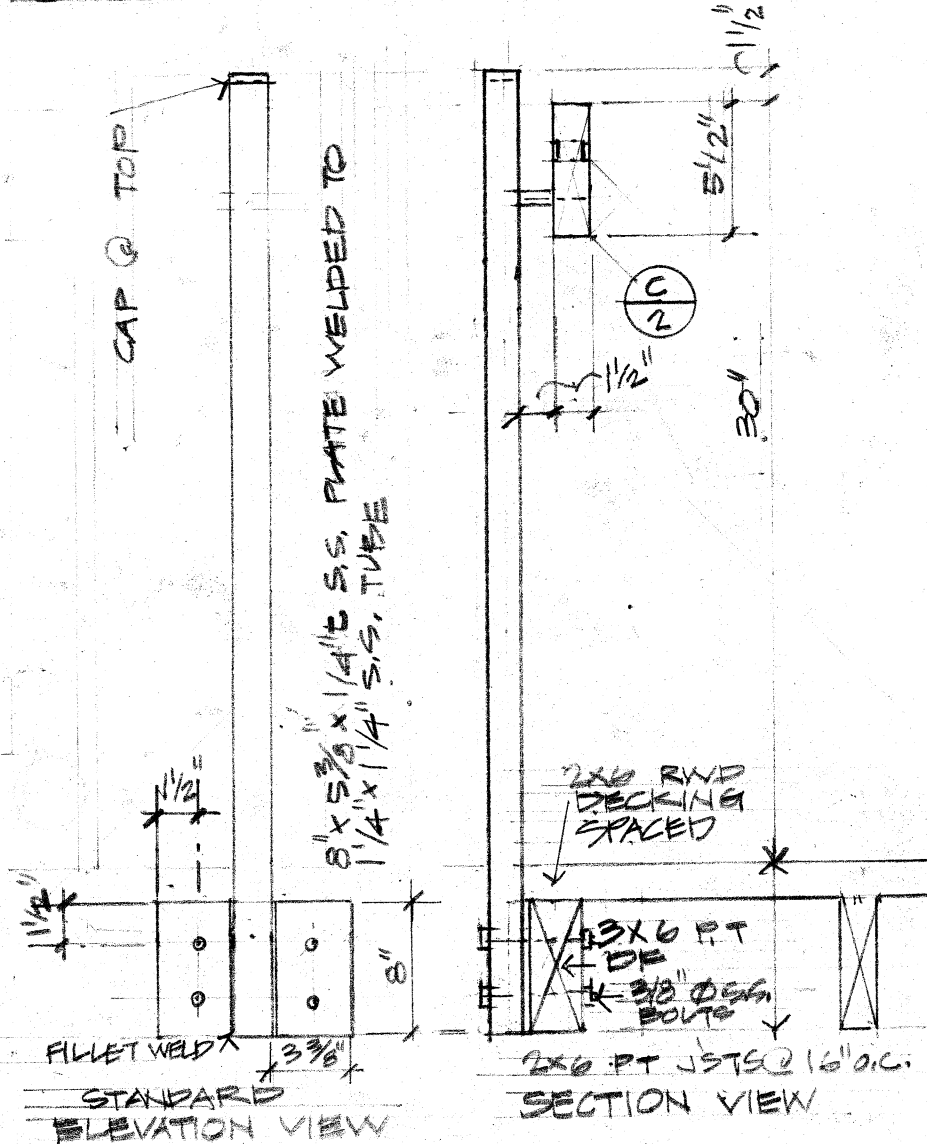
24' & 18' < 24' OK

NOTES
 ROOF PITCH ~ 8 1/2"
 MATCH EXISTING
 ROOF OVERHANG 1 1/2"
 MATCH EXISTING
 ROOF MATERIAL
 COMPOSITION SHINGLES
 MATCH EXISTING

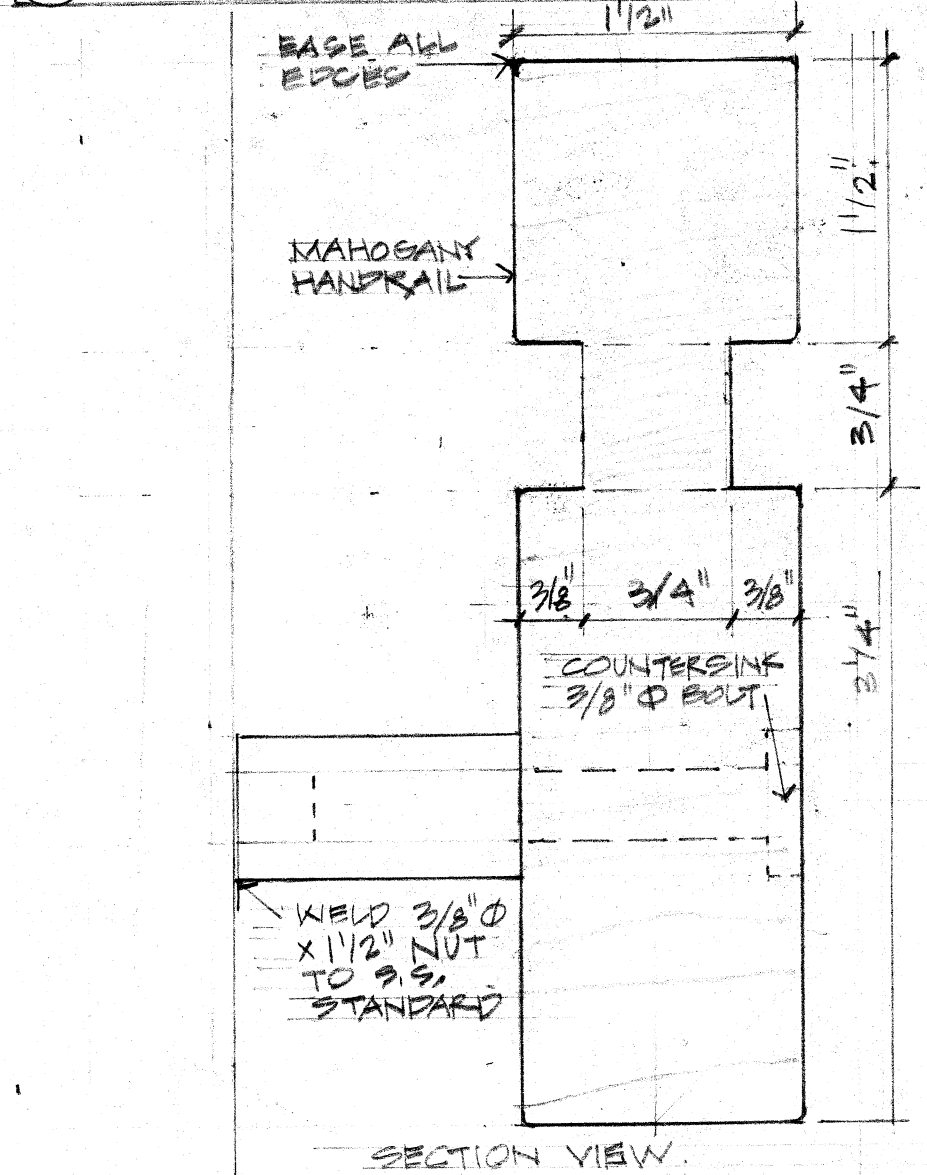
AN ADDITION AND REMODEL LOCATED AT
 633 LANCASTER BOULEVARD
 MOSS BEACH, CALIFORNIA
 FOR
 JAN AND ROLFE WYER
 PLANNING SUBMITTAL PRINTING 10/18/16
 DOUGLAS SNOW
 ARCHITECT AND ARTIST
 PHONE OR TEXT 909 840 7350



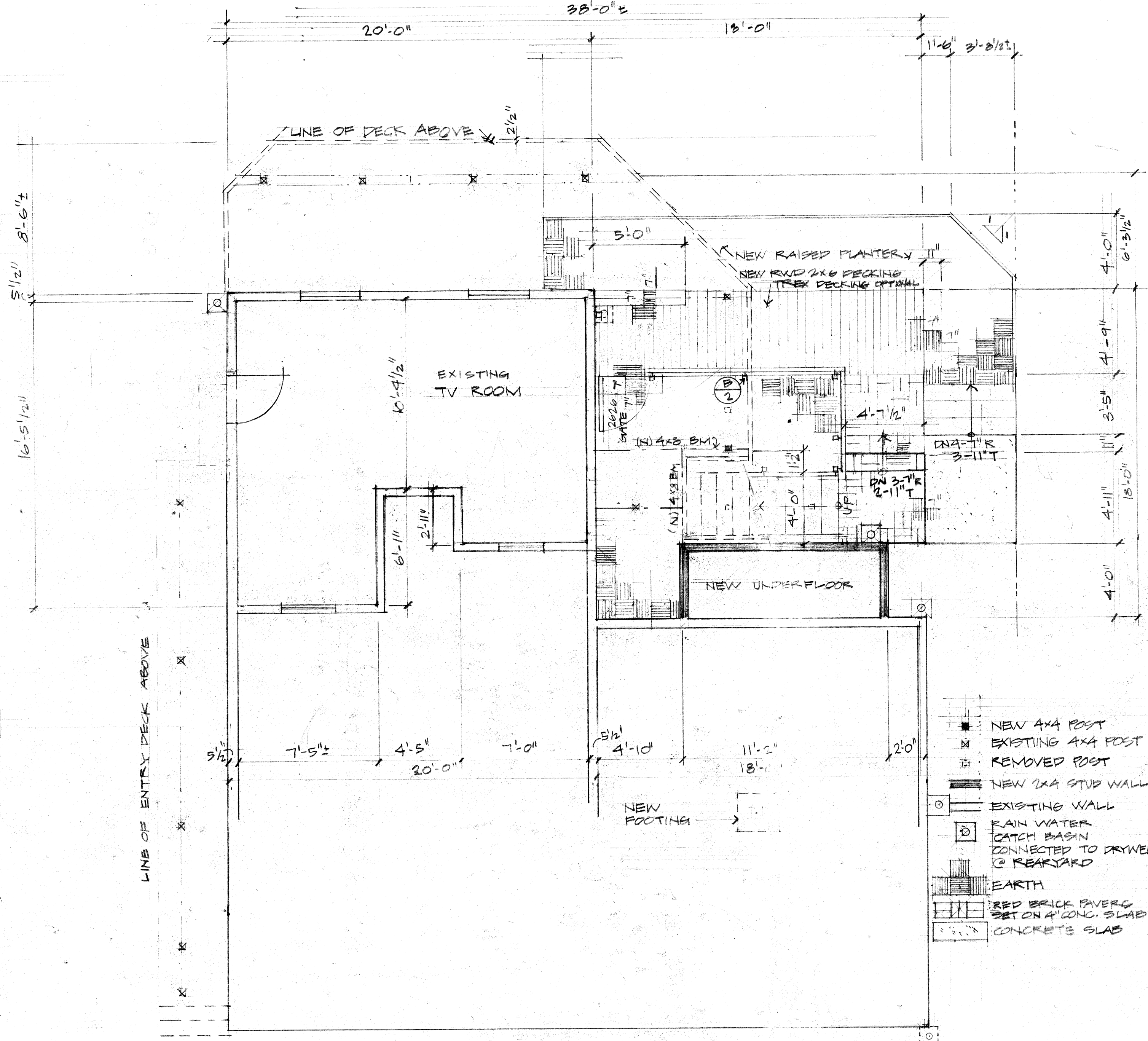
(A) DECK EDGE & GRABBER BEAMS @ 1/2" = 1'-0"



(B) DECK HANDRAIL @ 1/2" = 1'-0"



(C) HANDRAIL DETAIL @ 3/8" = 1'-0"



- NEW 4x4 POST
- ⊗ EXISTING 4x4 POST
- ⊖ REMOVED POST
- ▬ NEW 2x4 STUD WALL
- ⊕ EXISTING WALL
- ⊙ RAIN WATER CATCH BASIN CONNECTED TO DRYWELL @ REARYARD
- ⊘ EARTH
- ▨ RED BRICK PAVING SET ON 4" CONC. SLAB
- ▧ CONCRETE SLAB

(N) RWD DECK 95 SF (N) HARDSCAPE 95 SF

(E) FLOOR AREA 2425 SF NEW FLOOR AREA 0

LOWER LEVEL FLOOR PLAN SCALE 1/4" = 1'-0" PROJECT NORTH →

PLANNING SUBMITTAL PRINTING 10/19/16

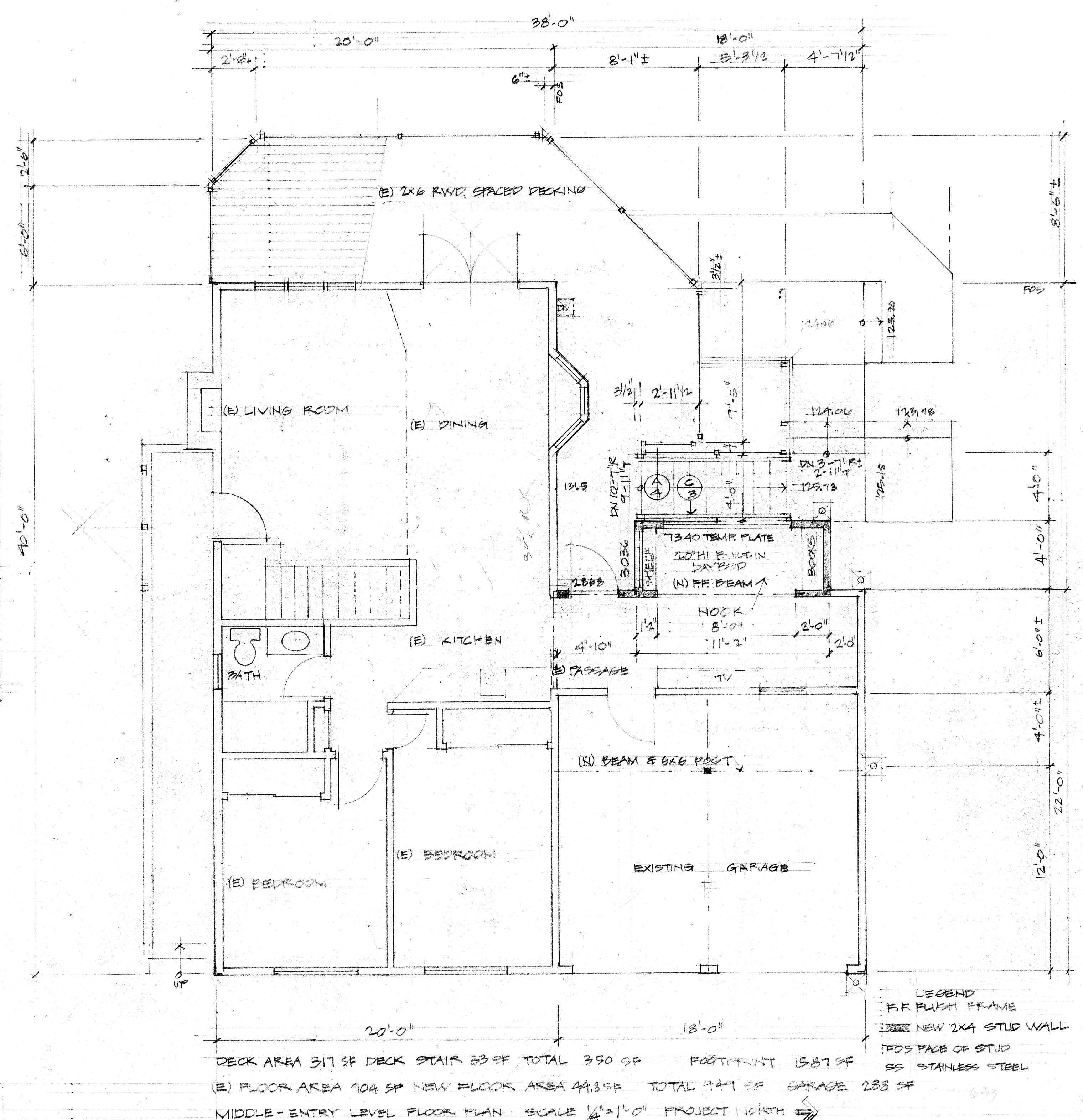
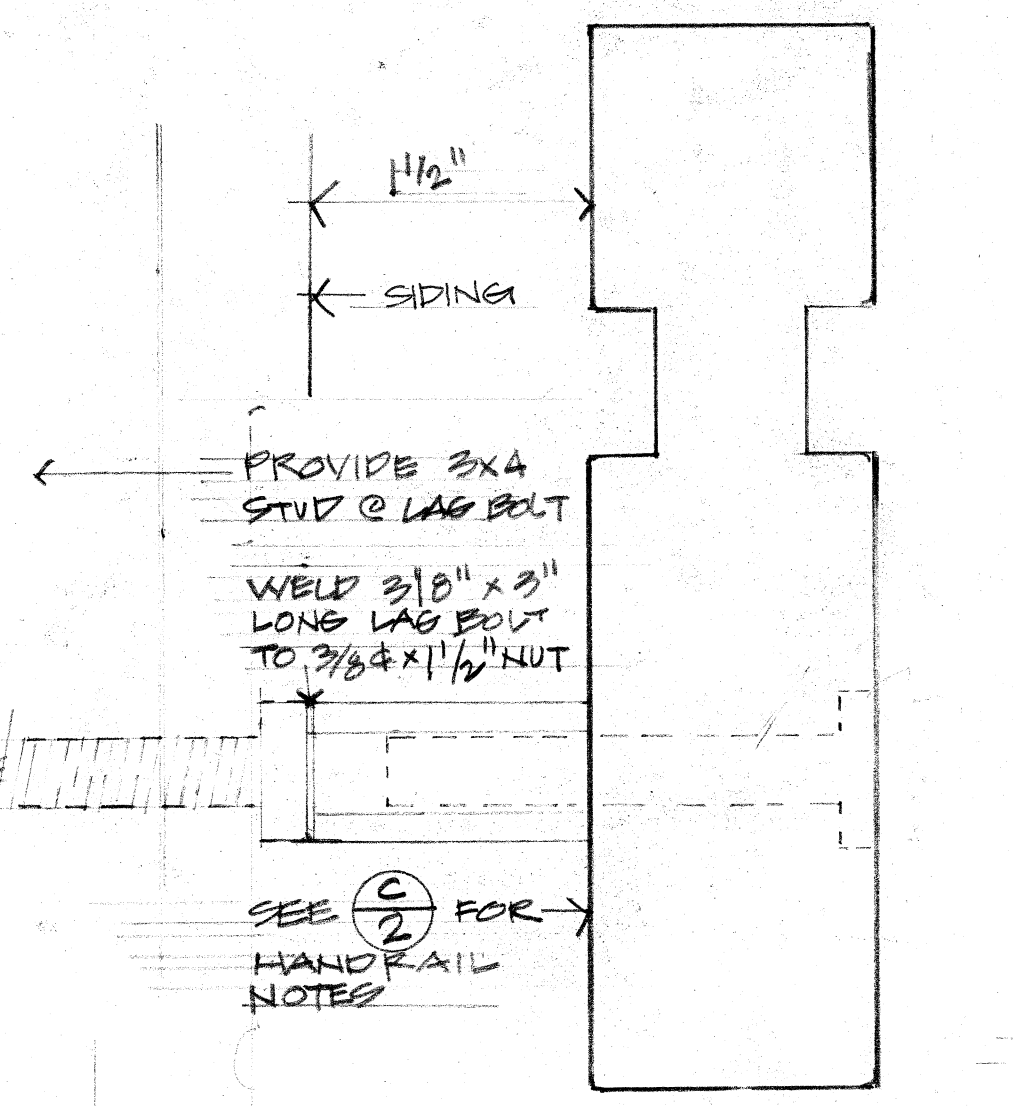
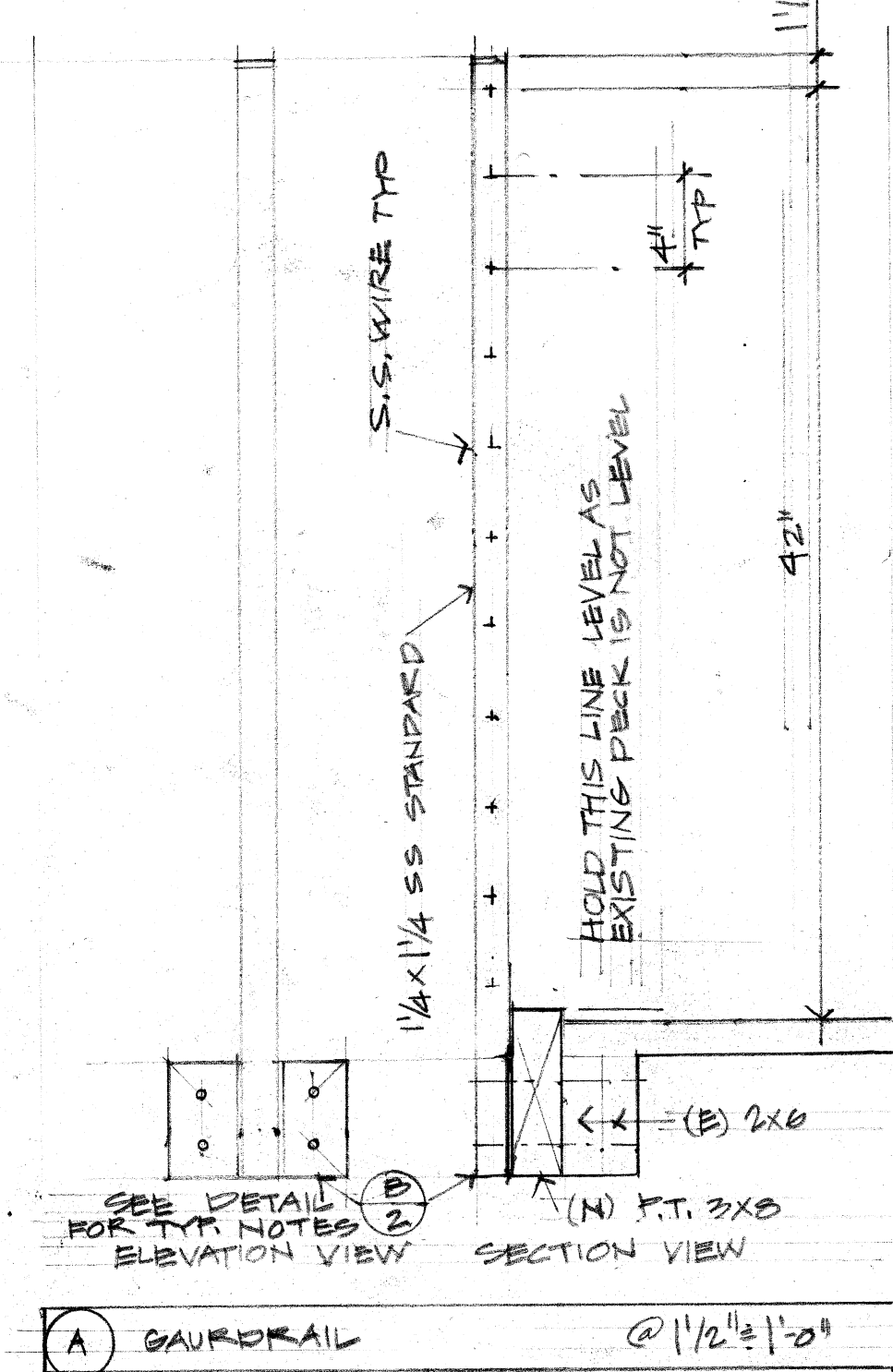
AN ADDITION AND REMODEL LOCATED AT
693 LANCASTER BOULEVARD
MOSS BEACH, CALIFORNIA

ARCHITECT AND ARTIST
DOUGLAS SNOW

FOR
JAN AND ROLFE WYER

PHONE 909-8907350

2



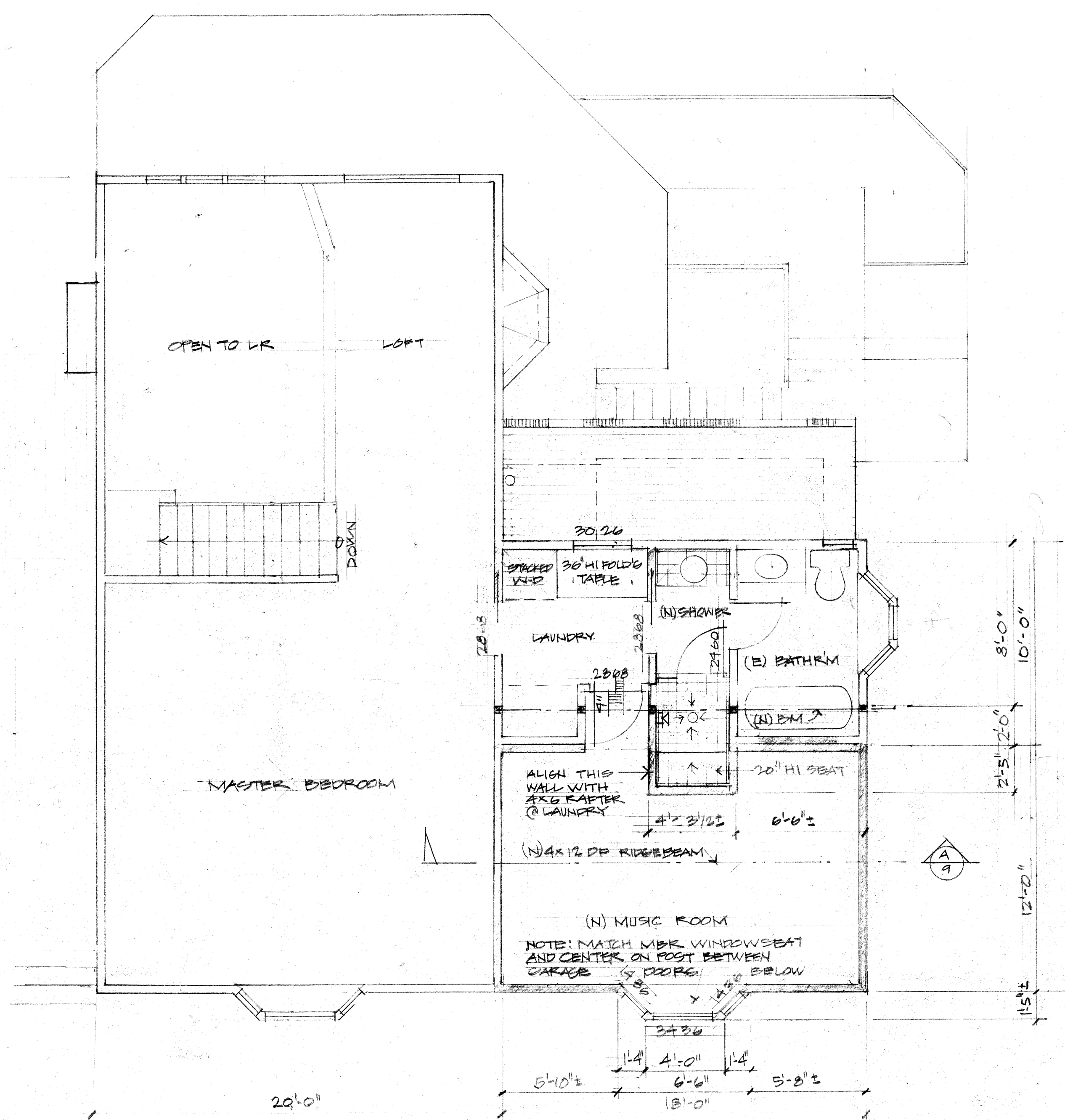
DECK AREA 317 SF DECK STAIR 33 SF TOTAL 350 SF FOOTPRINT 1587 SF
 (E) FLOOR AREA 904 SF NEW FLOOR AREA 44.8 SF TOTAL 1449 SF GARAGE 288 SF
 MIDDLE-ENTRY LEVEL FLOOR PLAN SCALE 1/4" = 1'-0" PROJECT NORTH

LEGEND
 F.F. FLUSH FRAME
 NEW 2x4 STUD WALL
 FOS FACE OF STUD
 SS STAINLESS STEEL

PLANNING SUBMITTAL PRINTING 10/18/16

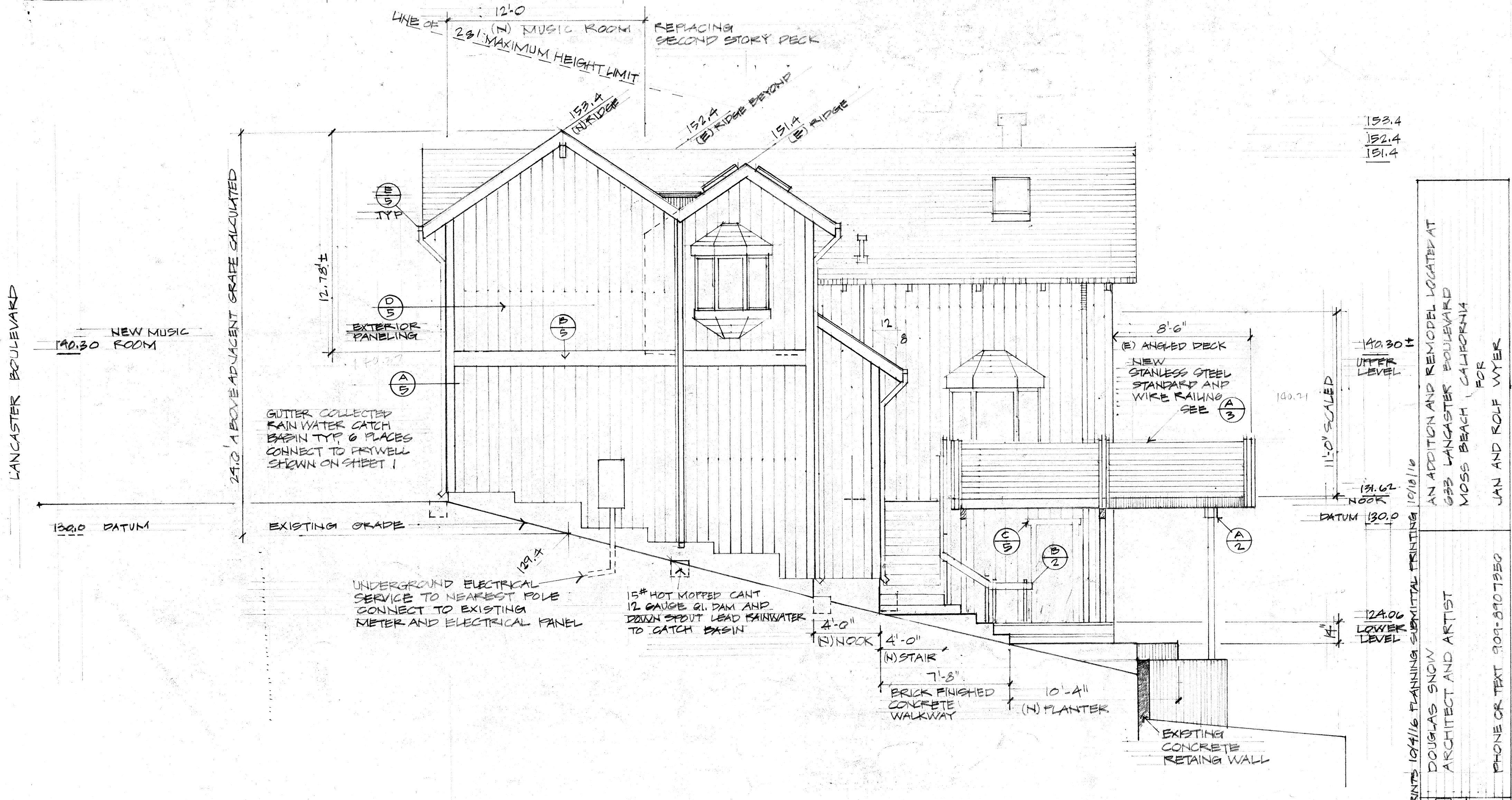
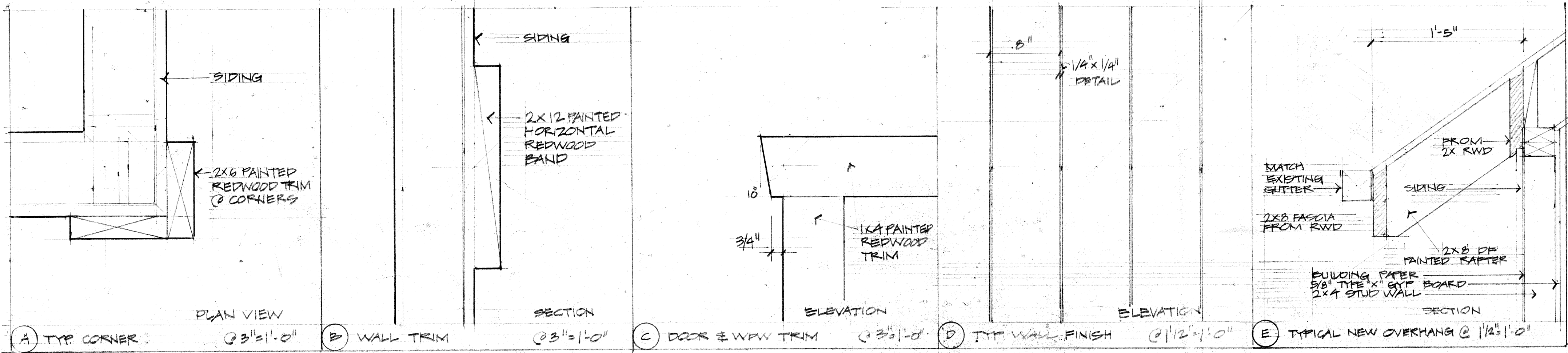
DOUGLAS SNOW ARCHITECT AND ARTIST
 AN ADDITION AND REMODEL LOCATED AT 633 WILMETER BOULEVARD MOSS BEACH, CALIFORNIA
 JAN AND KOLFE WYER FOR

PHONE OR TEXT 909-890-1250



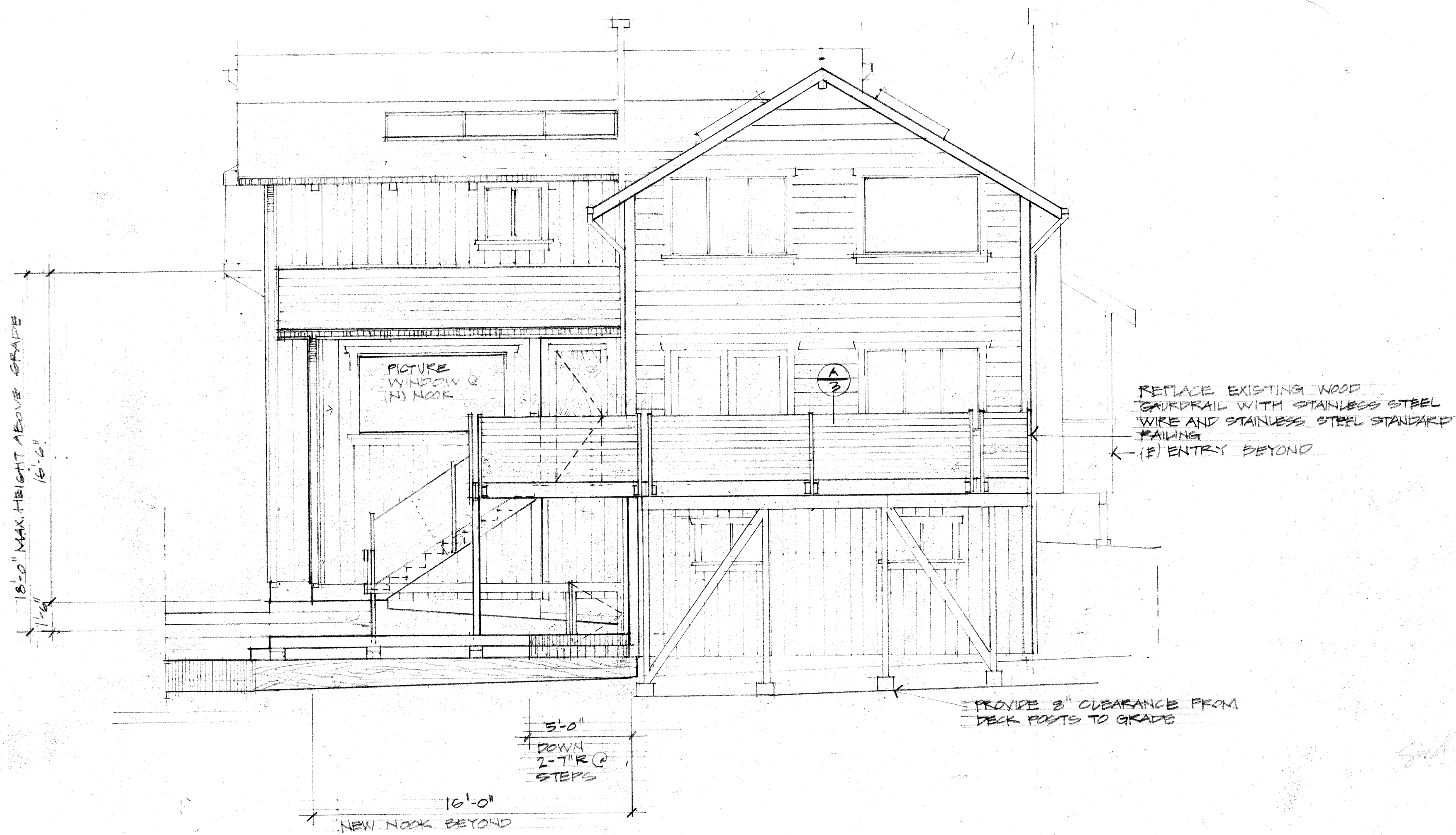
EXISTING FLOOR AREA NEW FLOOR AREA 216 SF TOTAL
 UPPER LEVEL FLOOR PLAN SCALE 1/4" = 1'-0" PROJECT NORTH

PLANNING SUBMITTAL PRINTING 10/18/16
 DOUGLAS SNOW
 ARCHITECT AND ARTIST
 PHONE OR TEXT 709-840-7350
 AN ADDITION AND REMODEL LOCATED AT
 633 LANCASTER BOULEVARD
 MOORE BEACH, CALIFORNIA
 FOR
 JAN AND ROLFE MYER



PRINTS 10/4/16 PLANNING SUBMITTAL PRINTING 10/18/16
 AN ADDITION AND REMODEL LOCATED AT
 633 LANCASTER BOULEVARD
 MOSS BEACH, CALIFORNIA
 FOR
 JAN AND ROLF WYER
 ARCHITECT AND ARTIST
 PHONE OR TEXT 909-8907350

NORTH FACING EXTERIOR ELEVATION SCALE 1/4" = 1'-0"



PLANNING SUBMITTAL PRINTING

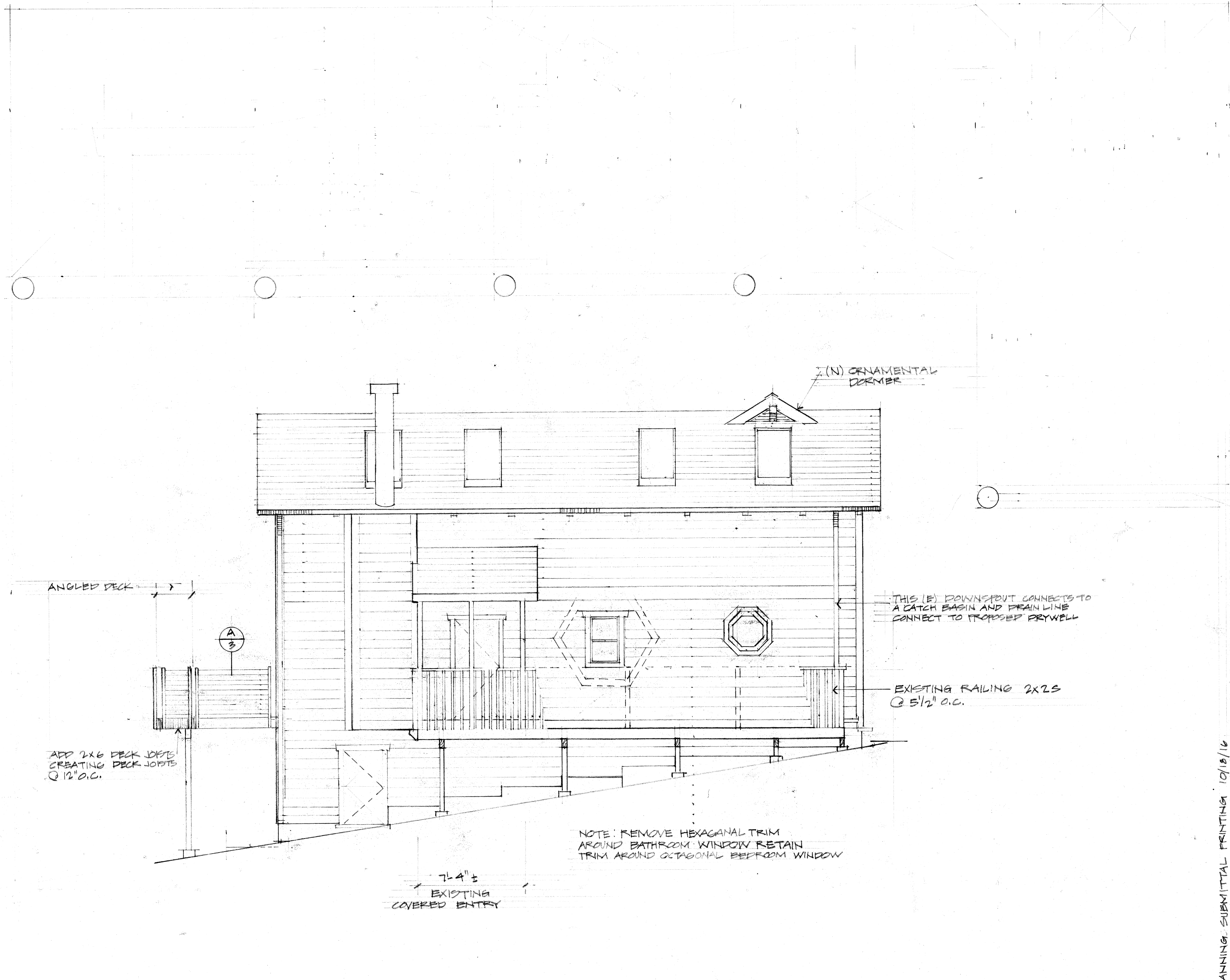
DOUGLAS SNOW
ARCHITECT AND ARTIST

PHONE OR TEXT 909-810-7330

AN ADDITION AND REMODEL LOCATED AT
633 LANCASTER BOULEVARD
NORCO BEACH, CALIFORNIA

FOR
JAN AND ROUPE WYER





(N) ORNAMENTAL DORMER

THIS (E) DOWNSPOUT CONNECTS TO A CATCH BASIN AND DRAIN LINE CONNECT TO PROPOSED PRYWELL

EXISTING RAILING 2x2S @ 5 1/2" O.C.

ANGLED DECK

A
3

ADD 2x6 DECK JOISTS CREATING DECK JOISTS @ 12" O.C.

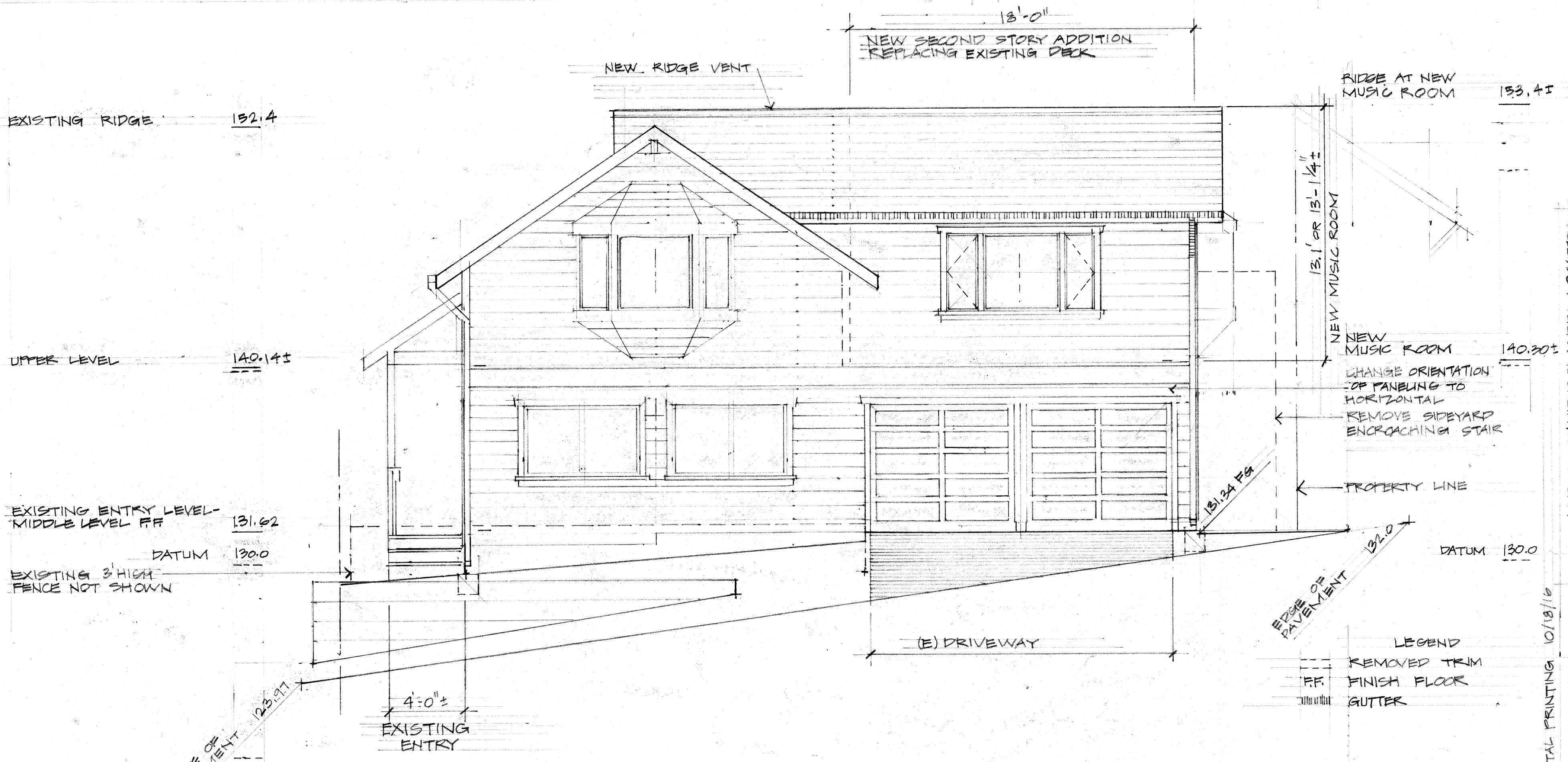
NOTE: REMOVE HEXAGONAL TRIM AROUND BATHROOM WINDOW RETAIN TRIM AROUND OCTAGONAL BEDROOM WINDOW

7'-4" ±
EXISTING COVERED ENTRY

EXISTING PRIMARILY UNCHANGED SOUTH EXTERIOR ELEVATION SCALE 1/4" = 1'-0"

PLANNING SUBMITTAL PRINTING 10/18/16
 DOUGLAS SNOW
 ARCHITECT AND ARTIST
 AN ADDITION AND REMODEL LOCATED AT
 633 LANCASTER AVENUE
 MOSS BEACH, CALIFORNIA
 FOR
 JAN AND ROLFE WYER
 PHONE OR TEXT 909-910-7350

22 10/12
8+10



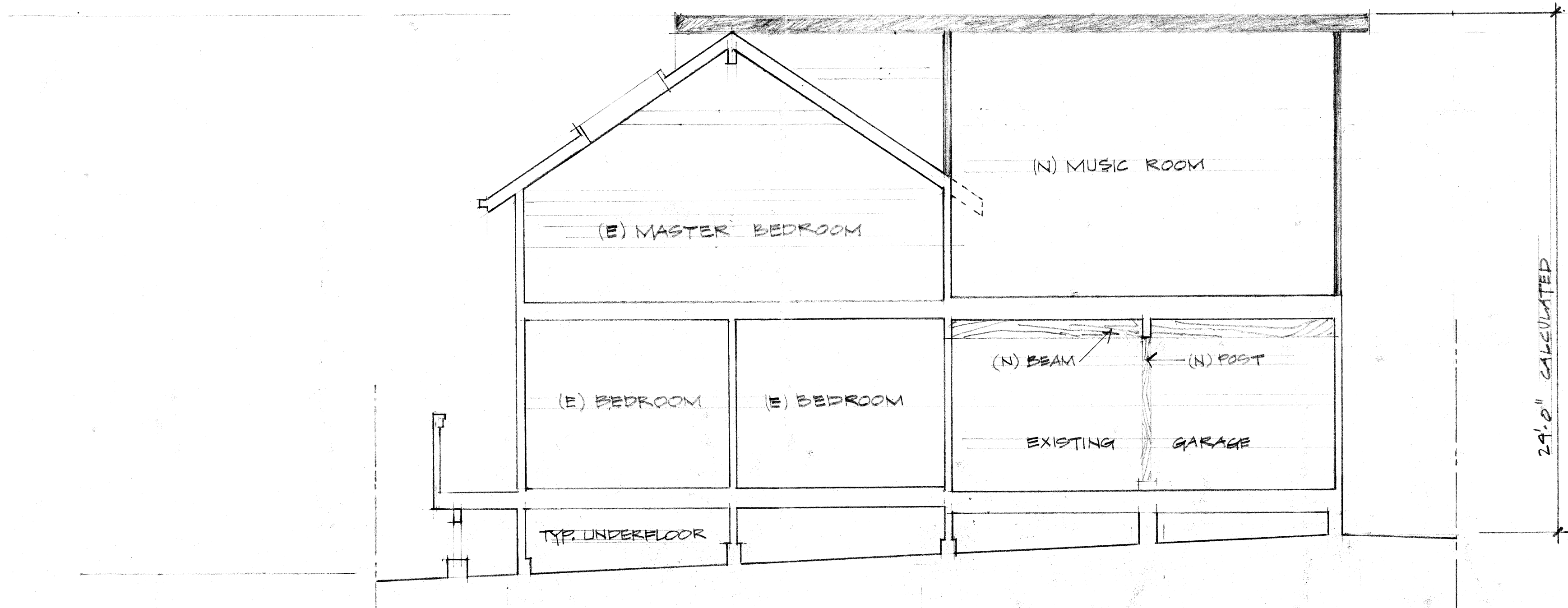
AN ADDITION AND REMODEL LOCATED AT
633 LANCASTER BOULEVARD
MOSS BEACH, CALIFORNIA
FOR
JAN AND KOLFE WYER

PLANNING SUBMITTAL PRINTING 10/18/16
DOUGLAS SNOW
ARCHITECT AND ARTIST

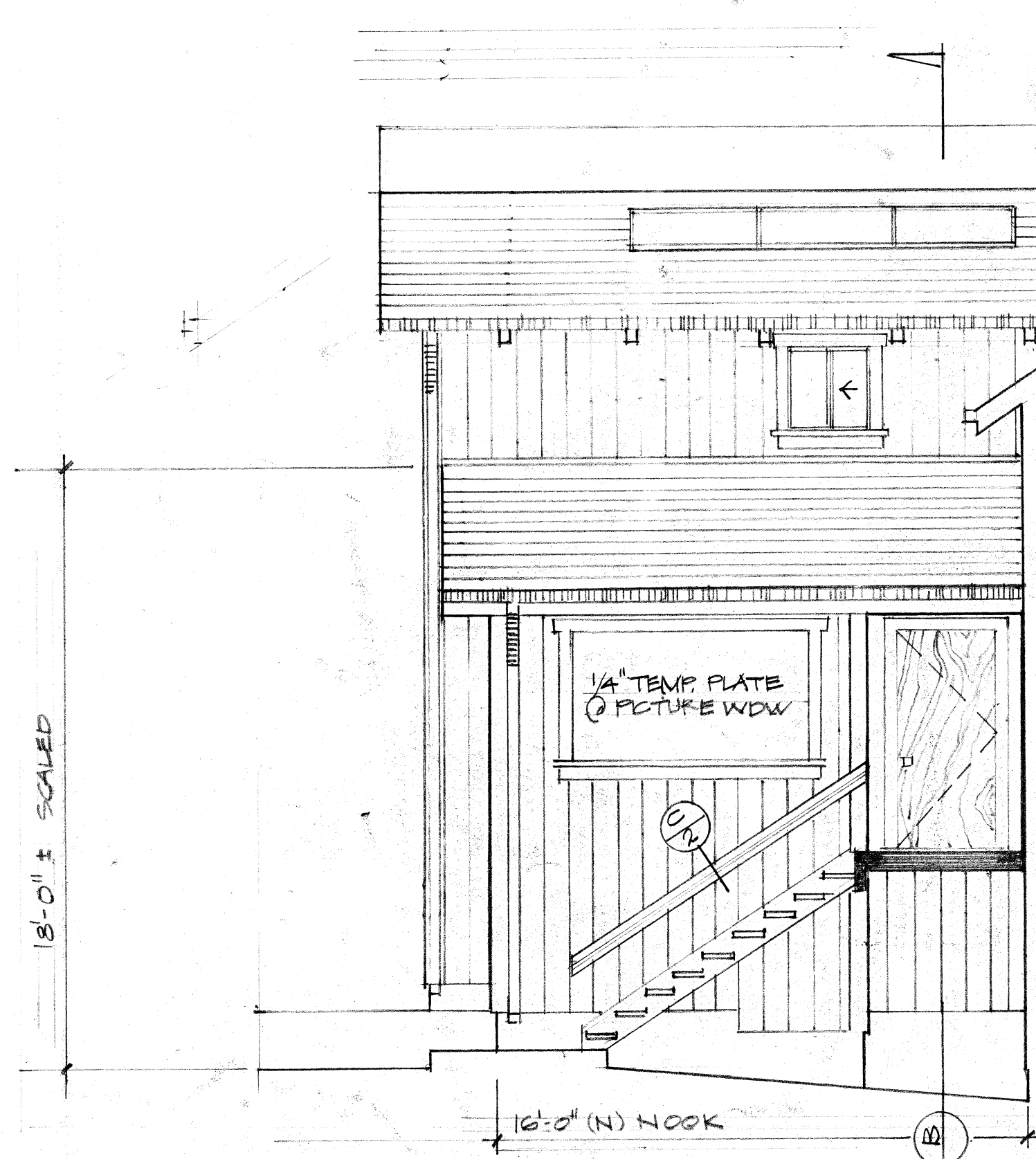
PHONE OR TEXT 909-890-7350

NOTE: SEE SHEET 5 FOR TYPICAL EXTERIOR WALL DETAILS

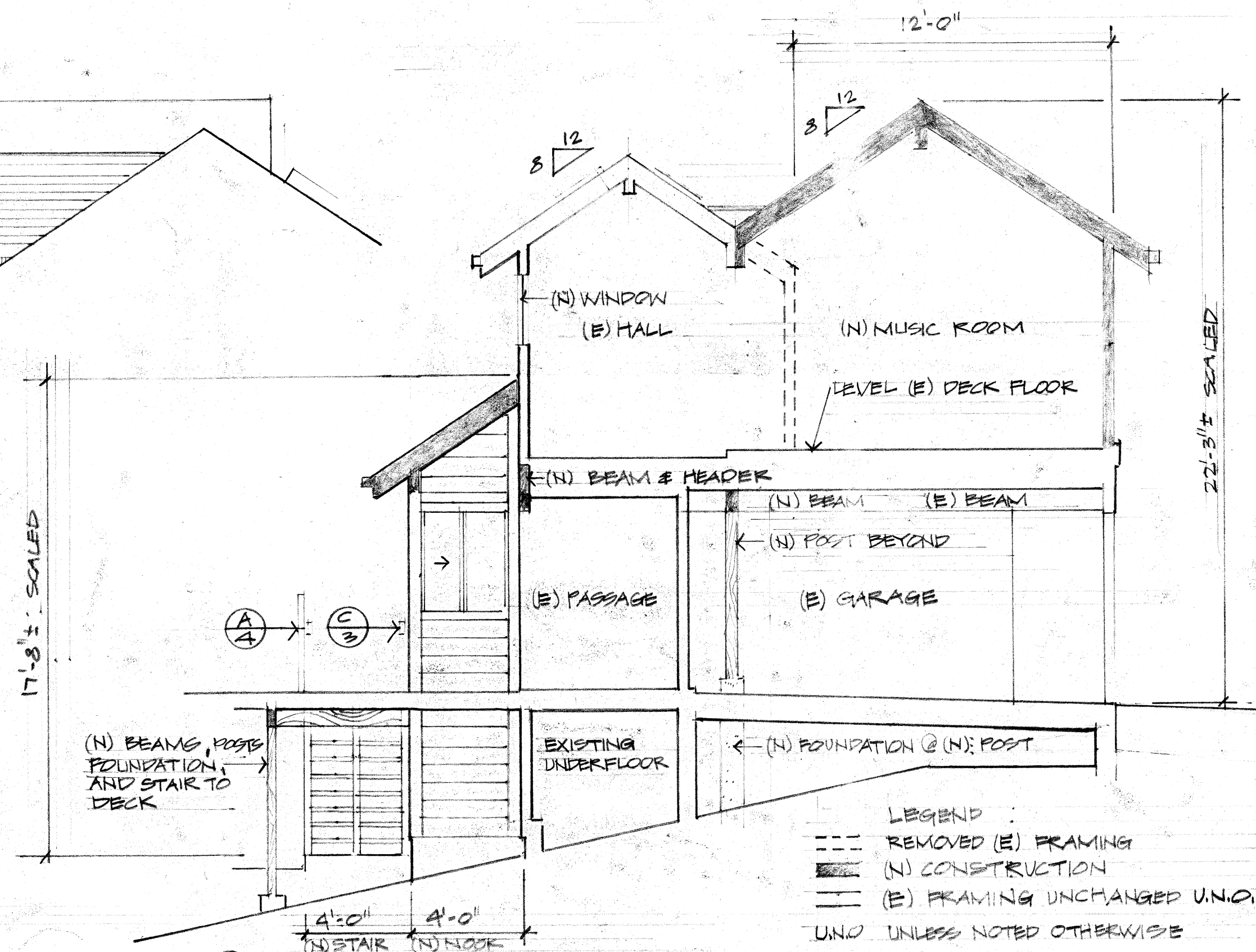
WEST FACING STREET FACING EXTERIOR ELEVATION SCALE 1/4" = 1'-0"



(A) TRANSVERSE SECTION SCALE 1/4" = 1'-0"



OBSCURED PARTIAL WEST ELEVATION SCALE 1/4" = 1'-0"



(B) LONGITUDINAL SECTION @ NEW CONSTRUCTION SCALE 1/4" = 1'-0"

PLANNING SUBMITTAL PRINTING 10/18/16
 AN ADDITION AND REMODEL LOCATED AT
 693 LANCASTER BOULEVARD
 MOSS BEACH, CALIFORNIA
 FOR
 JAN AND ROUFE MYER
 DOUGLAS SNOW
 ARCHITECT AND ARTIST
 PHONE OR TEXT 909 870 7350

20

19

18

17

16

15

LOT 33

LOT 34

LOT 35

LOT 36

LOT 37

LOT 38

LOT 39

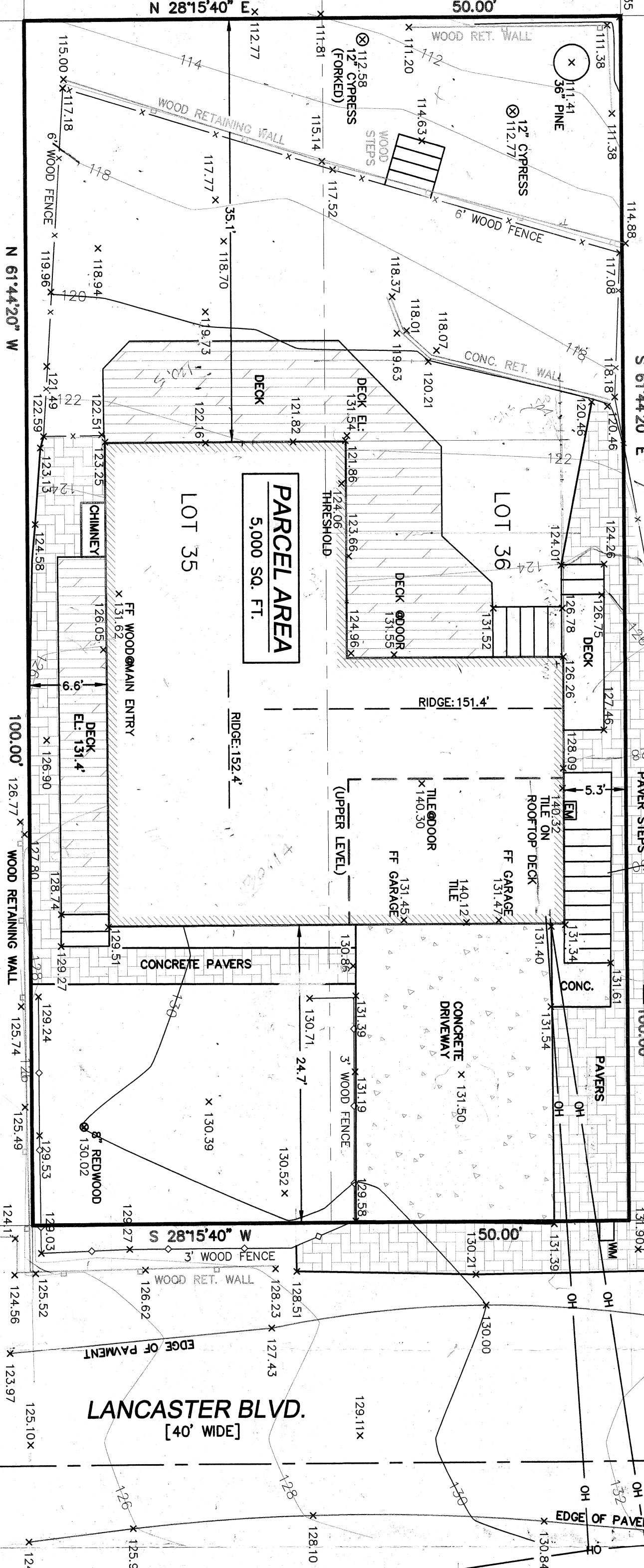
EXISTING RESIDENCE
(APPROXIMATE FOOTPRINT)

EXISTING RESIDENCE
(APPROXIMATE FOOTPRINT)

DOUGLAS SNOW
ARCHITECT AND ARTIST

PHONE OR TEXT 909 890 1850

AN ADDITION AND REMODEL LOCATED AT
883 LANCASTER BOULEVARD
MORRO BEACH, CALIFORNIA
FOR
JAN AND ROSE WYER



CA TOP OF FIRE HYDRANT
ELEVATION: 125.16 FEET
[SITE BENCHMARK]

LOTS 35 & 36 BLOCK 5
RESUBDIVISION OF MARINE
VIEW TERRACE TRACT
(BOOK 5 MAPS 39)

FOUND RAILROAD SPIKE
WITH PUNCH PER
31 ILS 89

SURVEY SHOWING EXISTING CONDITIONS SCALE 1/8" = 1'-0"

9/11/01 PLANNING EVENTUAL PRINTING 10/13/16
PRINTS 2/18/16 CHANGES