

April 24, 2019

Zafar Irfan
299 East Warren Avenue
Fremont, CA 94539

Dear Mr. Irfan:

SUBJECT: Coastside Design Review Recommendation
Cortez Avenue, Miramar
APN 048-032-070; County File No. PLN 2018-00397

At its meeting of April 11, 2019, the San Mateo County Coastside Design Review Committee (CDRC) considered your application for design review recommendation to allow construction of a new 1,732 sq. ft., two-story single-family residence, plus a 380 sq. ft. two-car attached garage, located on an existing 4,400 sq. ft. legal non-conforming parcel (legality confirmed via PLN2014-00116), as part of a hearing-level Coastal Development Permit (CDP) and a Non-Conforming Use Permit (UP). The Use Permit is required to allow development on a non-conforming parcel that proposes right and left side setbacks of 5 feet. and 7 feet., respectively, where 10 feet. is the minimum allowed for each side. No trees are proposed for removal. The Coastside Design Review Committee was unable to determine the findings for design review approval based on certain design deficiencies. In order to resolve these deficiencies in the project's design, a more thorough review of the "Standards for Design for One-Family and Two-Family Residential Development in the Midcoast" manual is required, with emphasis on Section 6565.20(C)2. Complement Other Structure in the Neighborhood; Section 6565.20(D)1. Building Mass and Shape, 4. Exterior Materials and Colors and Section 6565.20(F) Landscaping, Paved Area, Fences, Lighting and Noise.

As such, recommendations from the CDRC for further project redesign are as follows:

Recommendations:

1. Outdoor lighting reduced to one light fixture near doors only.
2. Reduce number of windows and amount of glass due to reflectivity and privacy concerns for neighbors.
3. Coordinate window head/sill heights to be consistent.



4. Revise the proportions of vertical windows on South and East side of entry stair to reduce the vertical expression at the front door for better overall proportions.
5. Eliminate mullions/muntins in windows. Simulated horizontal divided lite on picture windows would be acceptable to coordinate with single hung windows.
6. Use exterior colors closer in tonality, soften colors, no black trim, and roof.
7. Consider using cable rail and parapet wall sections on roof deck.
8. Reduce vertical wall sections, use of both glass and stucco should be lessened to modulate the roof form so that it does not have a single slab appearance.
9. Reduce height of roof fascia. Ensure fascia height is consistent for all rooflines.
10. Lower roof height to reduce vertical height at front door.
11. Spiral stair access to upper roof deck needs to be internal, and size shown accurately.
12. Garage parking does not provide minimum clear dimensions (18' wide by 19' long). Correct this to ensure it does not affect the exterior design in the permit drawings.
13. Upper level deck should be aesthetically subordinate to overall architectural style.
14. Group plantings for a more natural effect.
15. Incorporate a tree/plant species, plants that grow to a more substantial height and have longevity in a coastal zone, in the landscape plan. Roses are not recommended.
16. Replace and reduce concrete paving throughout the project. Replace with pervious material.
17. Reduce grass area significantly.

Recommendations (optional):


1. Consider pulling guardrails for roof decks away from the edge of roof to reduce the visual impact and improve privacy for neighboring property.
2. Consider adding stucco planters at edge of stair treads.

At the meeting, you were presented with the following available options at the end of the CDRC's deliberation of the project: (i) request for a decision from the CDRC on the plans presented or (ii) request that the project be considered at the next meeting to provide you with ample time to consider and incorporate the elements recommended for project redesign. You chose the second option, and the CDRC directed staff to schedule your project for consideration at a later date.

Please contact Dennis P. Aguirre, Design Review Officer, at 650/363-1867, if you have any questions.

To provide feedback, please visit the Department's Customer Survey at the following link:
<http://planning.smcgov.org/survey>.

Sincerely,



Dennis P. Aguirre
Design Review Officer

DPA:ann – DPADD0192_WNN.DOCX

cc: Bruce Chan, Member Architect
Katie Kostiuk, Member Architect
Linda Montalto-Patterson, Miramar Community Representative
V. Winnie Tungpagasit, Interested member of the public
Joe and Karyn Roark, Interested members of the public

Design review committee feedback March 2019

- Outdoor lighting reduced to one light fixture near doors only.
Redesign: Remove all lighting. Total exterior light now reduced to 5. 2 for front patio and then 1 each exterior door.
- Reduce number of windows and amount of glass due to reflectivity and privacy concerns for neighbors.
Redesign: Remove all unnecessary windows. Move the windows to rear for privacy neighbor privacy concerns. Remove Garage windows.
- Coordinate window head/sill heights to be consistent.
Redesign: Exterior sills have been removed. Heights of all windows are now consistent.
- Revise the proportions of vertical windows on South and East side of entry stair to reduce the vertical expression at the front door for better overall proportions.
Redesign: Remove 2 window on the south side and made it one square window to reduce the verticalness. East Side windows length shorten from 10 ft to 6 ft.
- Eliminate mullions/muntins in windows. Simulated horizontal divided lite on picture windows would be acceptable to coordinate with single hung windows.
Redesign: Remove the Vertical mullions from windows. Add horizontal lite to shorten the verticalness of the windows.
- Use exterior colors closer in tonality, soften colors, no black trim, and roof.
Redesign: Remove black color completely. Soften color now chosen for the house and trim. Black roof has been replace with Dove Grey color.
- Consider using cable rail and parapet wall sections on roof deck.
Redesign: Roof deck now complete hidden, ~~Now~~ part of the roof. Patio glass panel is now replaced with cable railing with black galvanized posts.

- Reduce vertical wall sections, use of both glass and stucco should be lessened to modulate the roof form so that it does not have a single slab appearance.
Redesign: ~~Roof~~ Patio and front now completely redesigned. Use of Mahogany color cedar wood siding lessened the stucco front appearance. South side Tall vertical windows now replaced with square window with horizontal lite.
- Reduce height of roof fascia. Ensure fascia height is consistent for all rooflines.
Redesign: Roof fascia reduced from 2ft to 18inches. Soffit is now boxed.
- Lower roof height to reduce vertical height at front door.
Redesign: Roof now complete redesign. Vertical height at the front door has been replaced with one single roof that covers the front door and roof deck. This reduce the force verticalness at the front door.
- Spiral stair access to upper roof deck needs to be internal, and size shown accurately.
Redesign: Spiral stair case now completely hidden. Spiral stair case is accessible now from inside and spiral stair case is now part of the roof design. Size now correctly shown.
- Garage parking does not provide minimum clear dimensions (18' wide by 19' long). Correct this to ensure it does not affect the exterior design in the permit drawings.
Redesign: Garage now meeting the minimum clear dimension. Actually little bigger then what is required. 18x20.
- Upper lever deck should be aesthetically subordinate to overall architectural style.
Redesign: Roof deck now competed hidden, part of roof, cannot be seen from any side. Only from top. Patio is now smaller because of hidden spiral stair case. This solve decks privacy concern, aesthetics and make roof/ Patio and roof deck proportional.

- Group plantings for a more natural effect.
Redesign: Landscape is now redone by a Landscape architect. We went over and make it really nice landscaping design. Groups of plants now introduce in the plan.
 - Incorporate a tree/plant species, plants that grow to a more substantial height and have longevity in a coastal zone, in the landscape plan. Roses are not recommended.
Redesign: Landscape design is now done by landscape Architect. Adding tens of new plants to the plan by Landscape architect. Roses removed.
 - Replace and reduce concrete paving throughout the project. Replace with pervious material.
Redesign: No concrete anywhere... all Permeable pavers now.
 - Reduce grass area significantly.
Redesign: Grass removed from the plans. Landscape design is now redone by a Landscape architect.
- Recommendations (optional):**
- Consider pulling guardrails for roof decks away from the edge of roof to reduce the visual impact and improve privacy for neighboring property.
Redesign: Roof deck now complete hidden, Cannot be seen from anywhere. For privacy concerns roof has been added to the sides so even if someone is standing on the roof deck they cannot directly see below.
 - Consider adding stucco planters at edge of stair treads.
Redesign: Architecture software won't let be add the stucco planter. I request that small planters in nice pots will be added on both sides of the stairs to soften the stair look and adding nice small plants with colors.

DESIGN REVIEW FEEDBACK March 2019



| Layout Page Table | | | |
|-------------------|-------|----------------------------|-------------|
| Label | Title | Description | Comments |
| A0 | | COVER PAGE | |
| 1 | | Survey | |
| 2 | | SITE PLAN | 1/4" = 1'0" |
| 3 | | Drainage Plan | |
| 4 | | LANDSCAPING Plan | |
| 5 | | FLOOR PLANS | 1/4" = 1'0" |
| 6 | | Elevations | |
| 7 | | ROOF and Roof Deck Plan | |
| 8 | | CROSS SECTIONAL ELEVATIONS | |
| 10 | | Exterior LIGHTENING PLaN | |
| 11 | | Road Plan | |
| 12 | | Road Plan | |

Revision 1 , Feb 22, 2019

- Decrease lot coverage from 1546 sqft to 1258 sqft. Allowed 1320 sqft
- Decrease total square feet to 2112 sqft, allowed 2112 Sqft.

Revision 2, March 26, 2019

- Fix Garage Square footage.
- Removed rear court.
- Revised Drainage plan
- Revised Road Plan
- Revised Landscaping Plan.

Revision 3 April 25th 2019 (After Design Review Meeting)

- Roof redesigned
- Roof deck completely hidden from public eye
- Roof deck now integrated into roof.
- Roof deck Privacy concerns met with roof on the edges
- Shorten the front Patio for neighbor privacy concerns.
- Added Patio privacy for neighbor by creating hidden spiral stair case on Patio.
- Windows on the west side are now minimum
- Colors are now soften, removed black trim.
- Roof deck and Patio and stair case glass panel removed.
- Landscape completely redone
- Vertical windows are now shorten from 10ft to 6ft.
- Black stucco trim around windows removed.
- Use of cable rails on Patio and Front stairs.
- Verticalness of walls and windows are now removed.
- House now fully articulated.
- Use of Mahogany color wood and Vinyl siding has been introduce to soften stucco look.
- Reduce size of roof fascia board from 2ft to 18 inches.
- Removed vertical Mullions from windows.
- Windows sills have been removed.
- Removed all exterior lights except just one light per entry.

PROJECT STATISTICS

LOT NUMBER: 048-032-070

LOT SIZE: 4,400 SF (0.10 ACRE)

Total Living area : 2112 SQFT , Allowed 2112 SQFT.

Lot coverage: Building 1165 SQFT + Exterior stairs 77 SQFT= 1242, Allowed 1320

MAIN FLOOR: 1165 SQFT

SECOND: 947 SQFT

DRIVEWAY : 400 SQFT

ZONING : S-94

LOT COVERAGE

Building + Exterior Stairs

1165 SQFT + 77 SQFT = 1242 SQFT

1320 SQFT) (Allowed

COVER PAGE

Owner: Zafar Irfan & Bina Mojin

LOT 9 BLOCK 8, SHORE ACRES,
3-RSM-PG095
COUNTY OF SAN MATEO, CA
APN 048-032-070

DATE:

4/26/2019

Rev 3

SHEET:

A0

BOUNDARY & TOPOGRAPHIC SURVEY

LOT 9, BLOCK 8, SHORE ACRES, 3-RSM-PG095
 COUNTY OF SAN MATEO, CA
 APN 048-032-070

BASIS OF BEARINGS

CORTEZ AVE: S45°40'W PER SOUTH BALBOA TRACT VOLUME: 5 PAGE 6

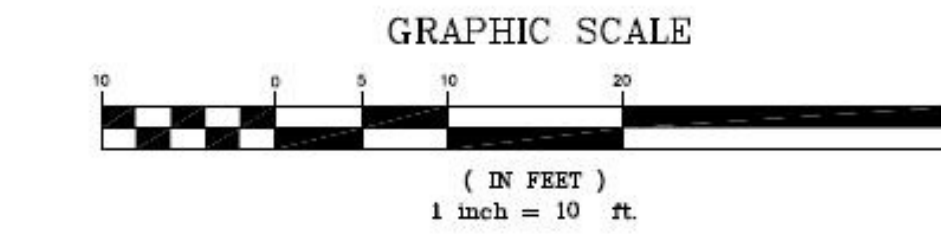
FD. 1 1/2" IP NO TAG (NO REF.) AT FENCE COR.
 ATTACHED TAG PLS 6997
 (ELEV. = 33.50') DATUM ASSUMED

CORNER RECORD
 BEING SUBMITTED 03/2019

FD. 1 1/2" IP W/TAG (ILLEGIBLE)
 (NO REF.) AT FENCE COR.

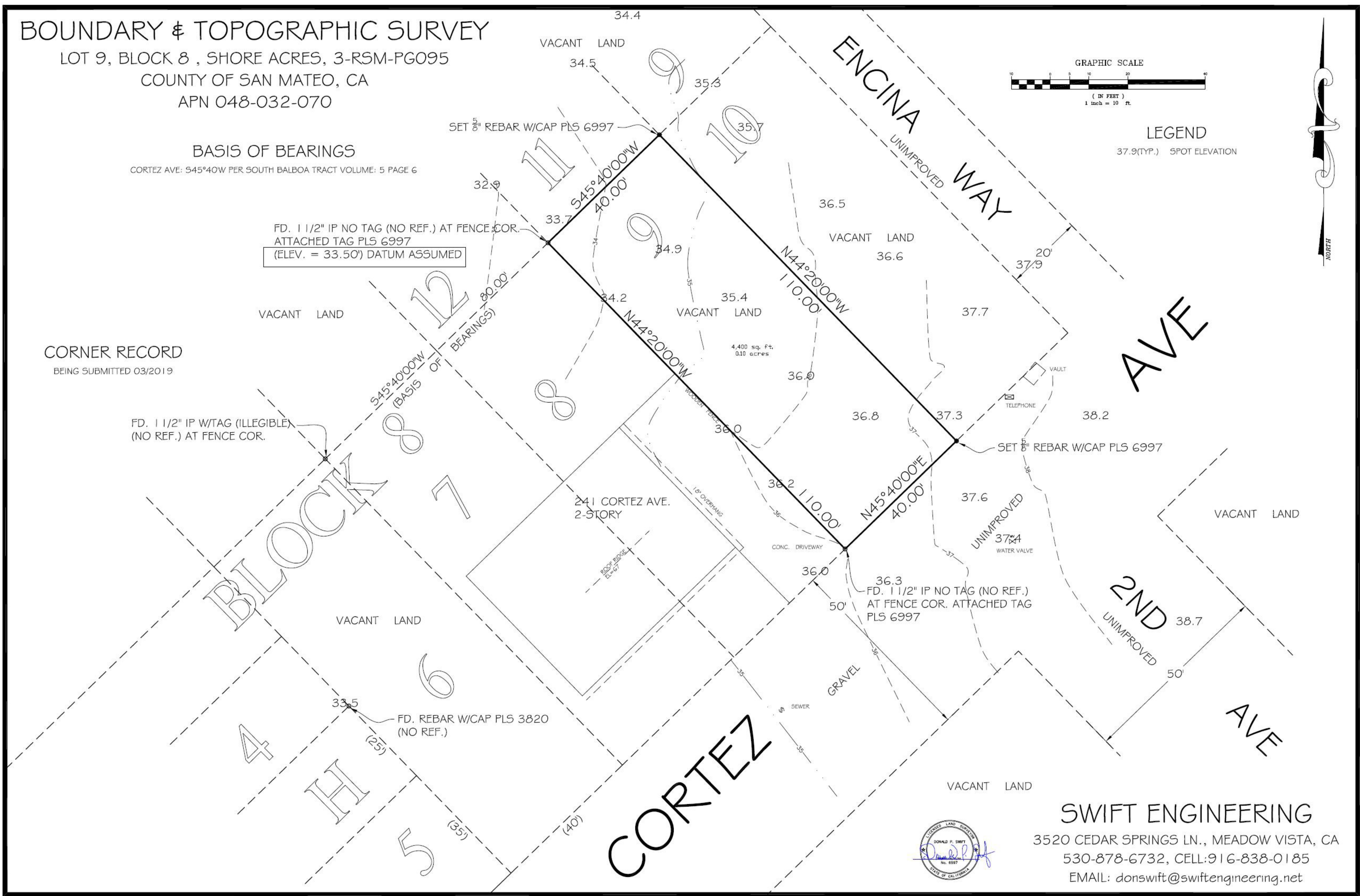
FD. REBAR W/CAP PLS 3820
 (NO REF.)

SET 5" REBAR W/CAP PLS 6997



LEGEND

37.9(TYP.) SPOT ELEVATION



SWIFT ENGINEERING
 3520 CEDAR SPRINGS LN., MEADOW VISTA, CA
 530-878-6732, CELL: 916-838-0185
 EMAIL: donswift@swiftengineering.net

3D Views are Not to Scale and May Not Reflect The Actual Conditions

Survey

Owner: **Zafar Irfan & Bina Mojin**

LOT 9 BLOCK 8, SHORE ACRES,
 3-RSM-PG095
 COUNTY OF SAN MATEO, CA
 APN 048-032-070

DATE:

4/26/2019

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SHEET:

1

PROJECT STATISTICS:

LOT NUMBER: 048-032-070
LOT SIZE: 4,400 SF (0.10 ACRE)

Lot coverage: 1165 SQFT + 77 SQFT Exterior stairs = 1242 SQFT (ALLOWED 1320 SQFT)

MAIN FLOOR: 1165 SQFT
SECOND: 947 SQFT
Total Structure = 2112 SQFT (Allowed 2112 (SQFT))

PERMEABLE PAVERS DRIVEWAY: 400 SQFT

ZONING : S-94

NOTES:

NOTES: 1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES 2. ALL FINISH GRADES SHALL BE SMOOTH AND UNIFORM 3. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING 4. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD FRENCH DRAIN 5. AREAS TO BE FILLED SHALL BE CLEARED, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.

SITE PLAN NOTES:

SOIL TYPE: SHALLOW AND MODERATELY DEEP, WELL- DRAINED SOIL FORMED IN MATERIAL WEATHERED FORM BASALT THAT HAS A SMALL AMOUNT OF LOESS IN THE UPPER PART OF THE PROFILE. THE PERMEABILITY IS ESTIMATED TO BE MODERATE.

SOIL: *2,000 PSF ALLOWABLE (ASSUMED). TO BE AT TIME OF EXCAVATION.
 FROST DEPTH: *2'-0"
 SEISMIC ZONE: C
 WIND: 90 MPH (90 MPH 3 SEC GUST)
 EXPOSURE C

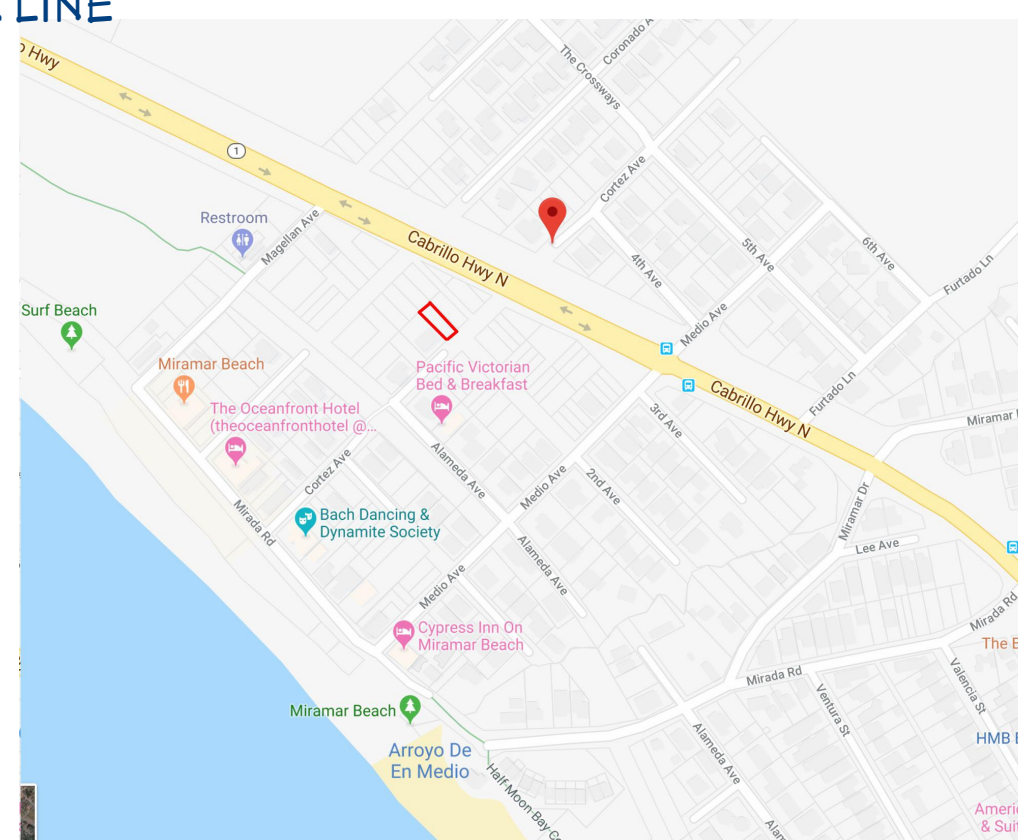
SITE SURVEY TO BE COMPLETED TO VERIFY PIN LOCATIONS AND HOME LOCATION PRIOR TO EXCAVATION

CALL BEFORE YOU DIG: 800.428.4150

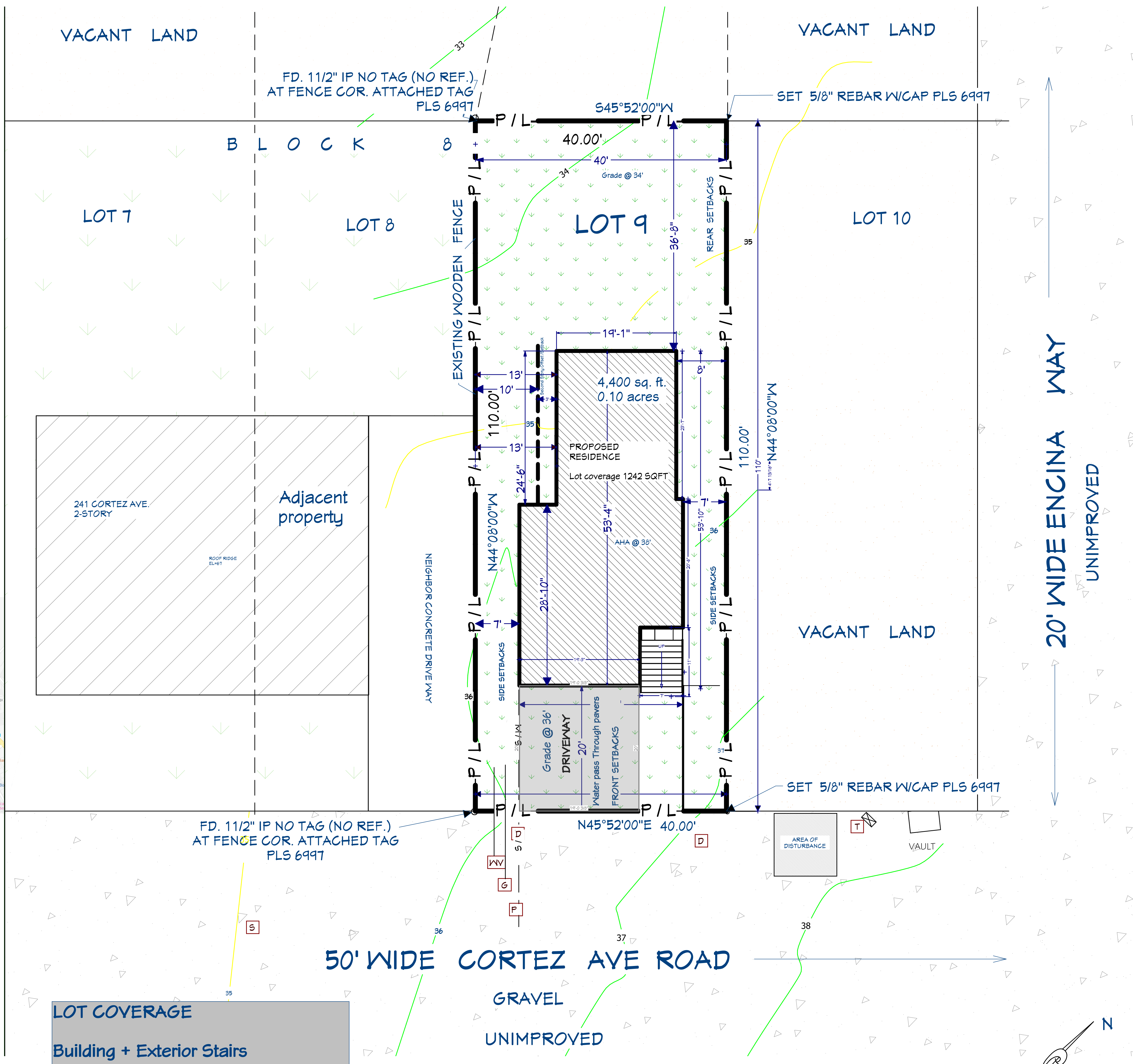
No TREES on site
 (PLANNED UTILITY LINES)

LEGEND:

- T** TELEPHONE / CABLE POA
- G** NATURAL GAS LINE
- P** UNDERGROUND POWER LINE
- S** SEWER WASTE LINE
- D** DRAINAGE TO STREET
- WV** 5/8" MAIN WATER LINE
- MAJOR CONTOUR LINE**
- MINOR CONTOUR LINE**



OVERALL RENDERING



LOT COVERAGE
 Building + Exterior Stairs
 1165 SQFT + 77 SQFT = 1242 SQFT

SITE PLAN
 LEVELED LOT , NO GRADING REQUIRED

3D Views are Not to Scale and May Not Reflect The Actual Conditions

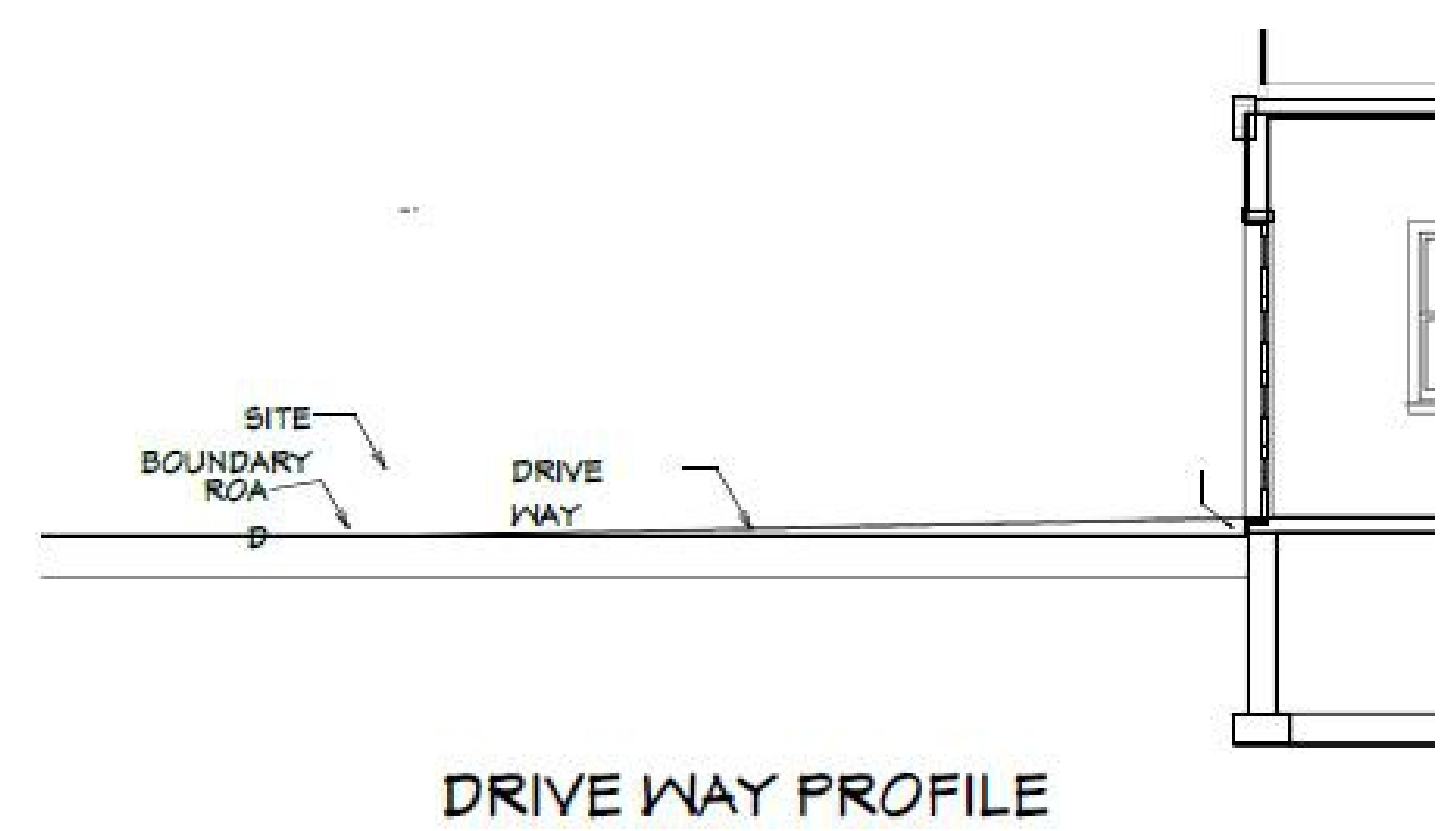
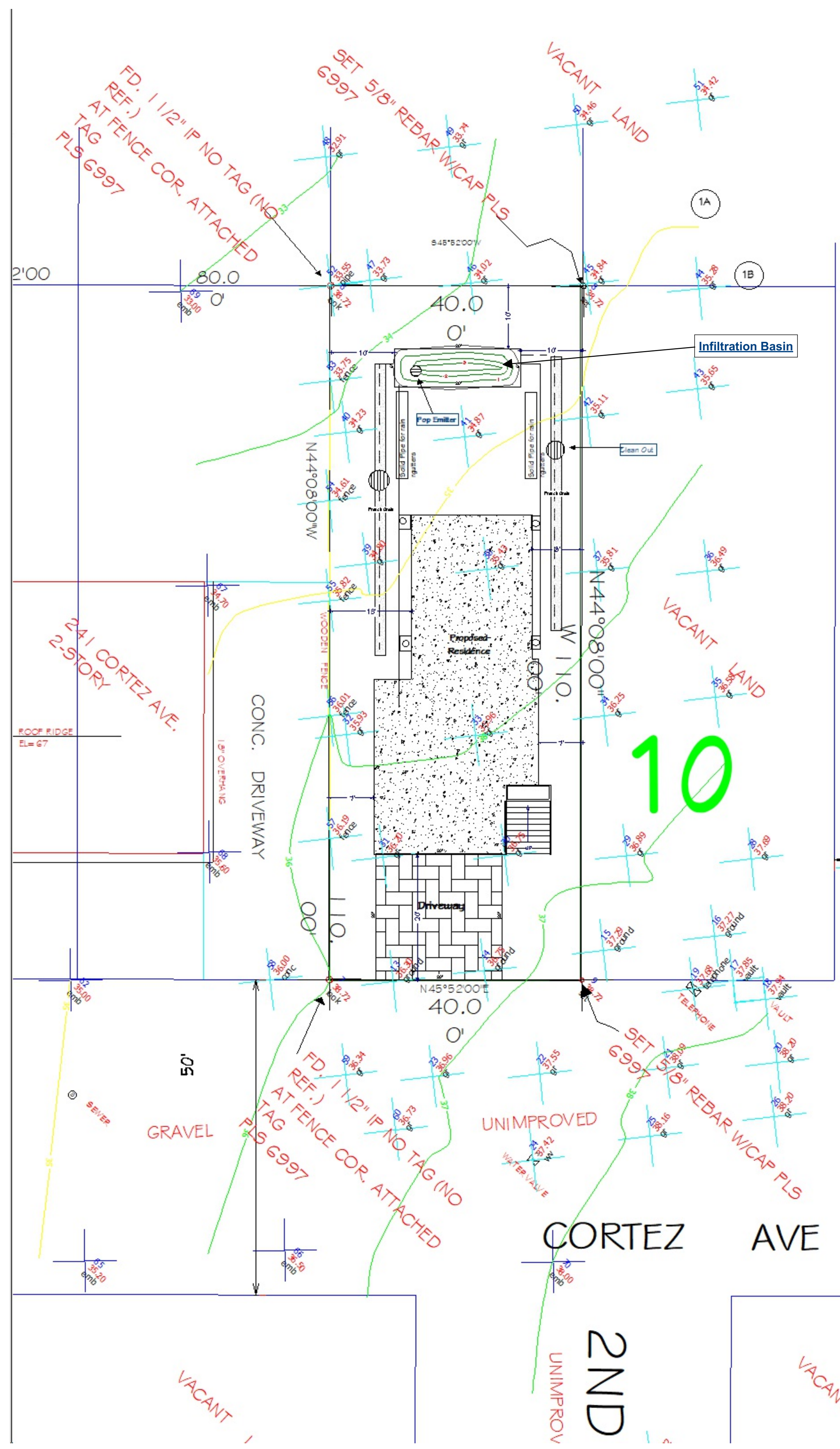
SITE PLAN

Owner: Zafar Irfan & Bina Moin

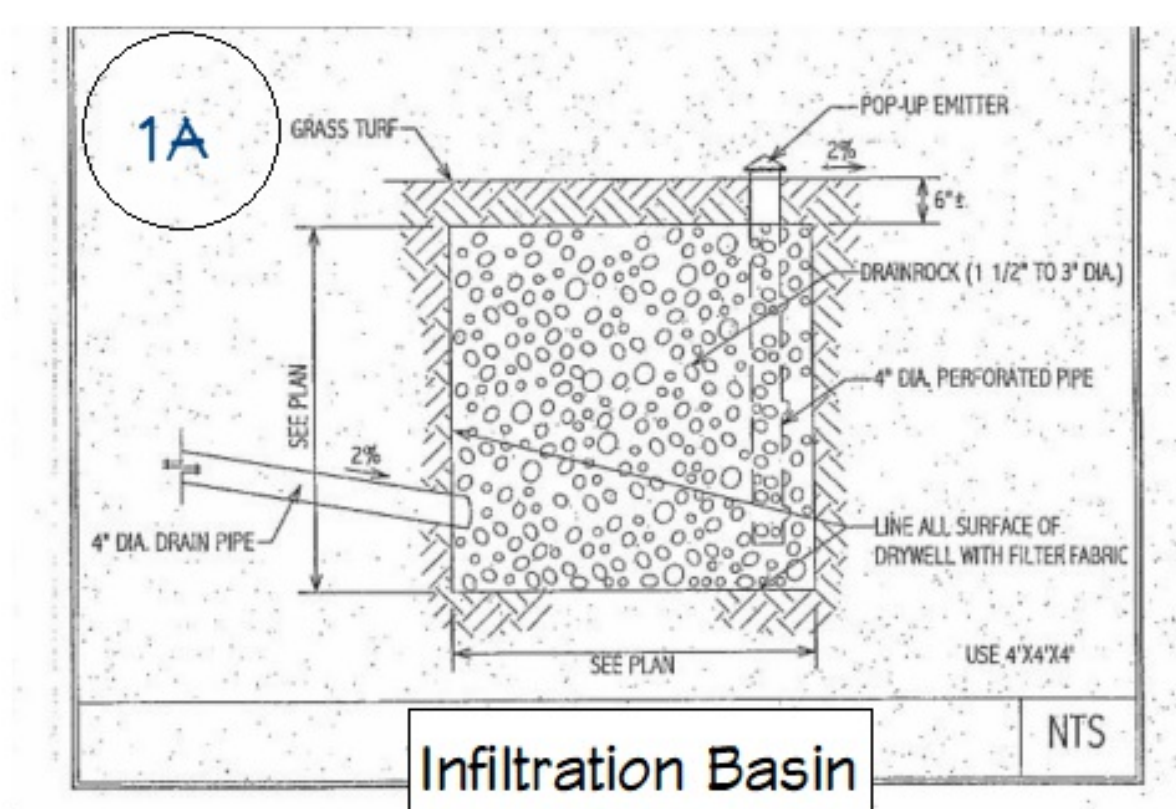
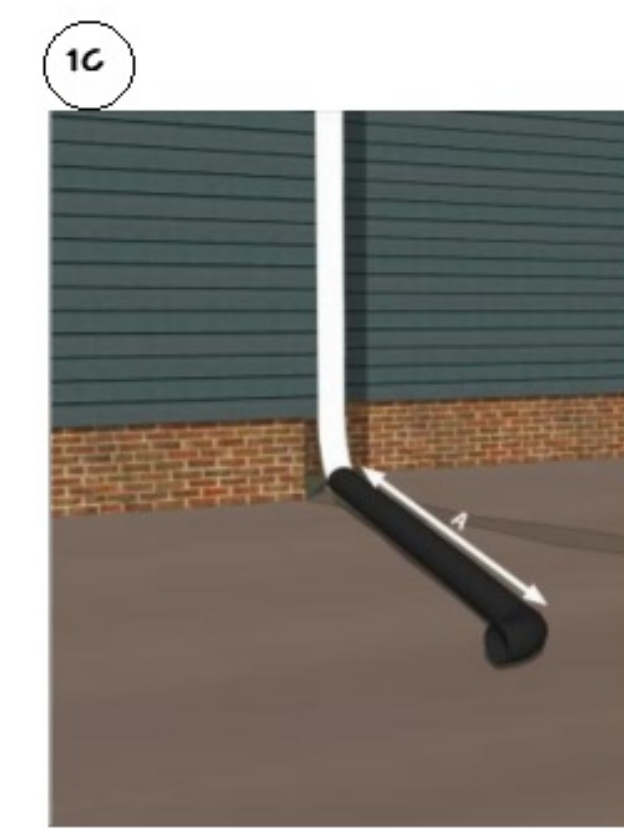
LOT 9 BLOCK 8, SHORE ACRES, 3-RSM-PG095 COUNTY OF SAN MATEO, CA APN 048-032-070

DATE:
 4/26/2019
Rev 3
 1/4" = 1'0"

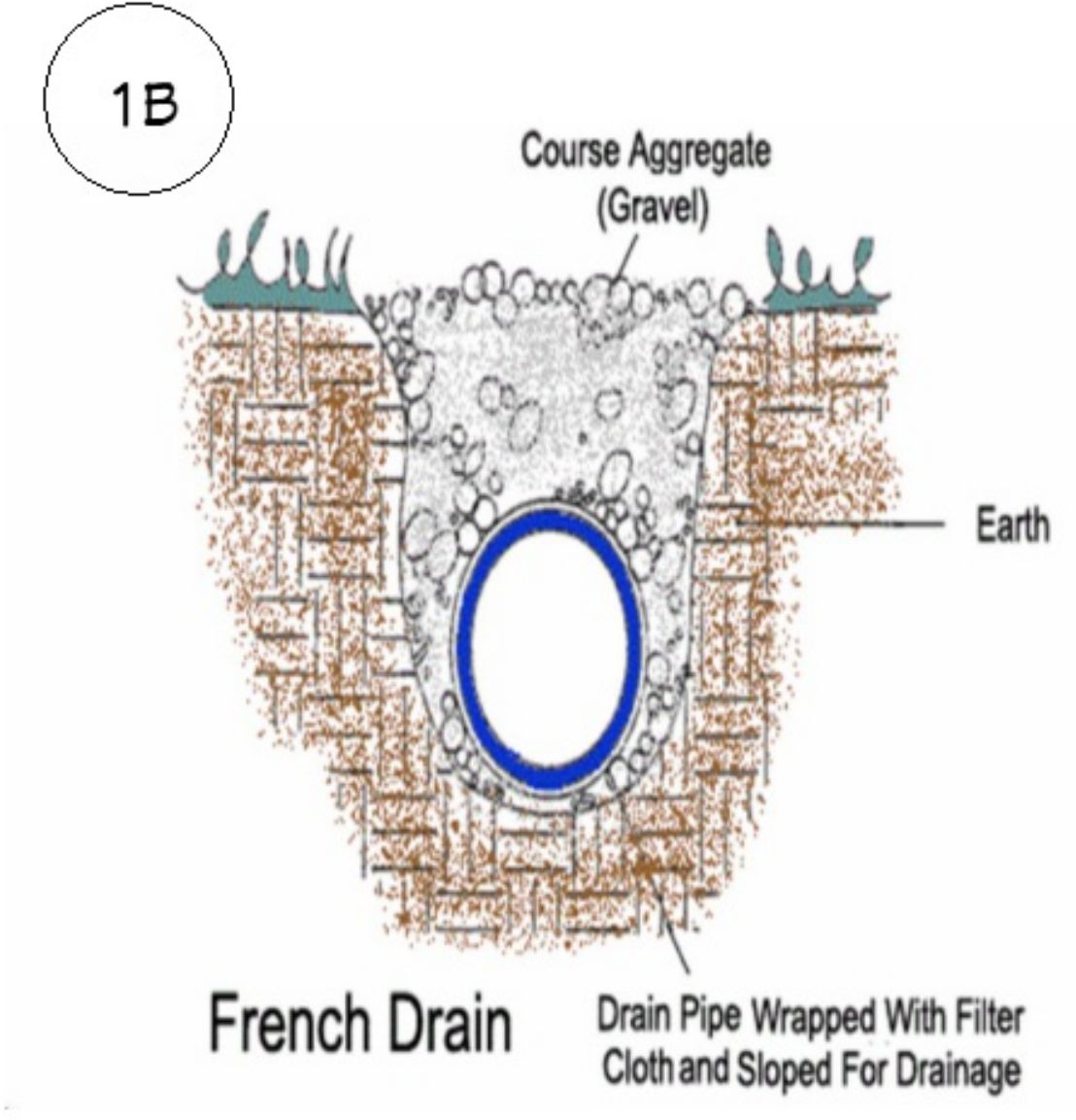
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2



DRIVE WAY PROFILE

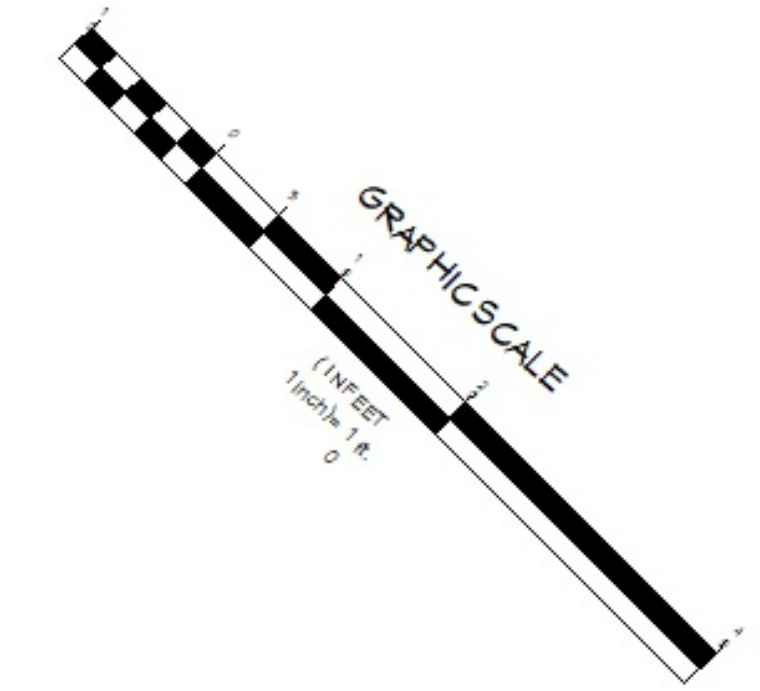


Infiltration Basin



French Drain

ENCINA WAY
UNIMPROVED



| Drainage SYMBOLS | |
|------------------|--|
| Cleanout | |
| Pop up | |
| Rain Gutters | |

GRADING NOTES:

1. CONTRACTOR TO VERIFY LOCATION OF ALL EXISTING UTILITIES.
2. PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDING.
3. FINAL GRADE TO CONVEY SURFACE DRAINAGE TOWARD ROCK CHANNELS AND DISPERSION TRENCHES.
4. AREAS TO BE FILLED SHALL BE CLEARED, GRUBBED TO REMOVE TREES, VEGETATION, ROOTS AND OTHER OBJECTIONABLE MATERIAL AND STRIPPED OF TOPSOIL.
5. PLACE FILL SLOPES WITH A GRADIENT STEEPER THAN 3:1 IN LIFTS NOT TO EXCEED 8 INCHES, AND MAKE SURE EACH LIFT IS PROPERLY COMPACTED.

- Notes
- 1) Rain gutters should be connected to solid pipes which slope towards infiltration basin.
 - 2) French drain should slope towards infiltration basin.
 - 3) Grade around the infiltration basin should slope towards basin.
 - 4) One cleanout on each french basin

3D Views are Not to Scale and May Not Reflect The Actual Conditions

Drainage Plan

Owner: Zafar Irfan & Bina Mojin

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APN 048-032-070

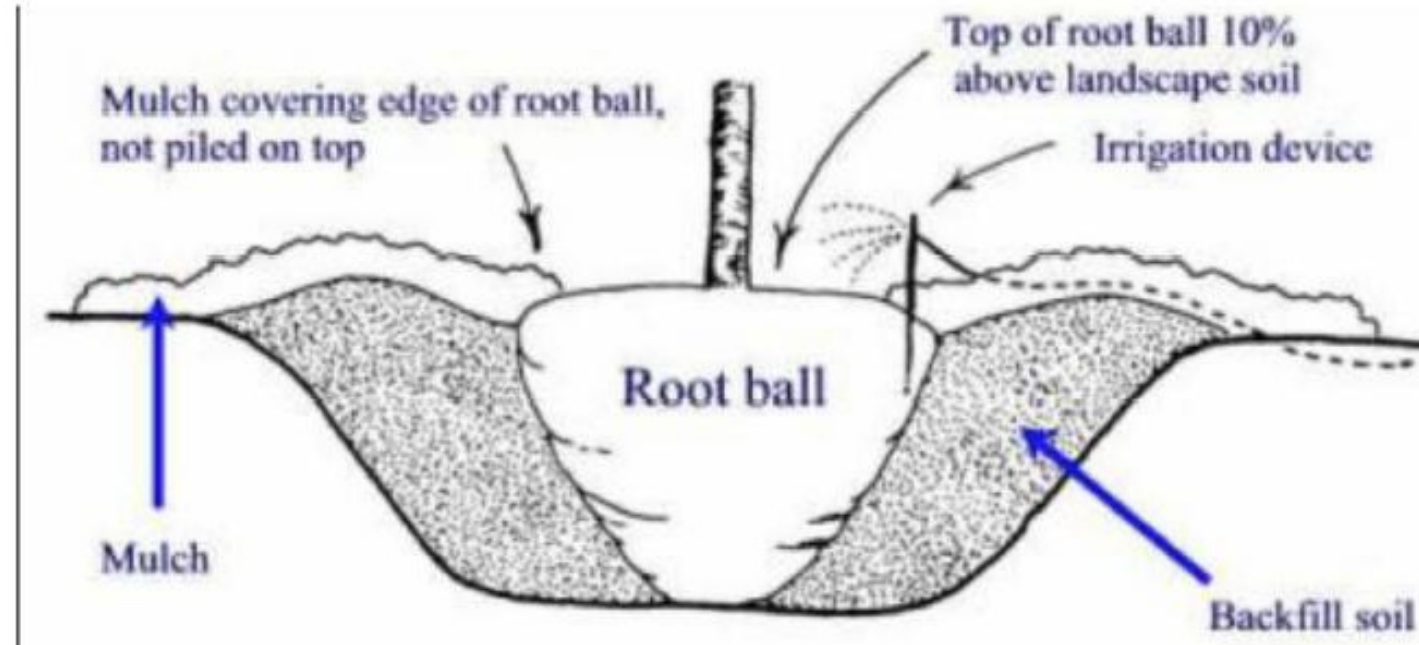
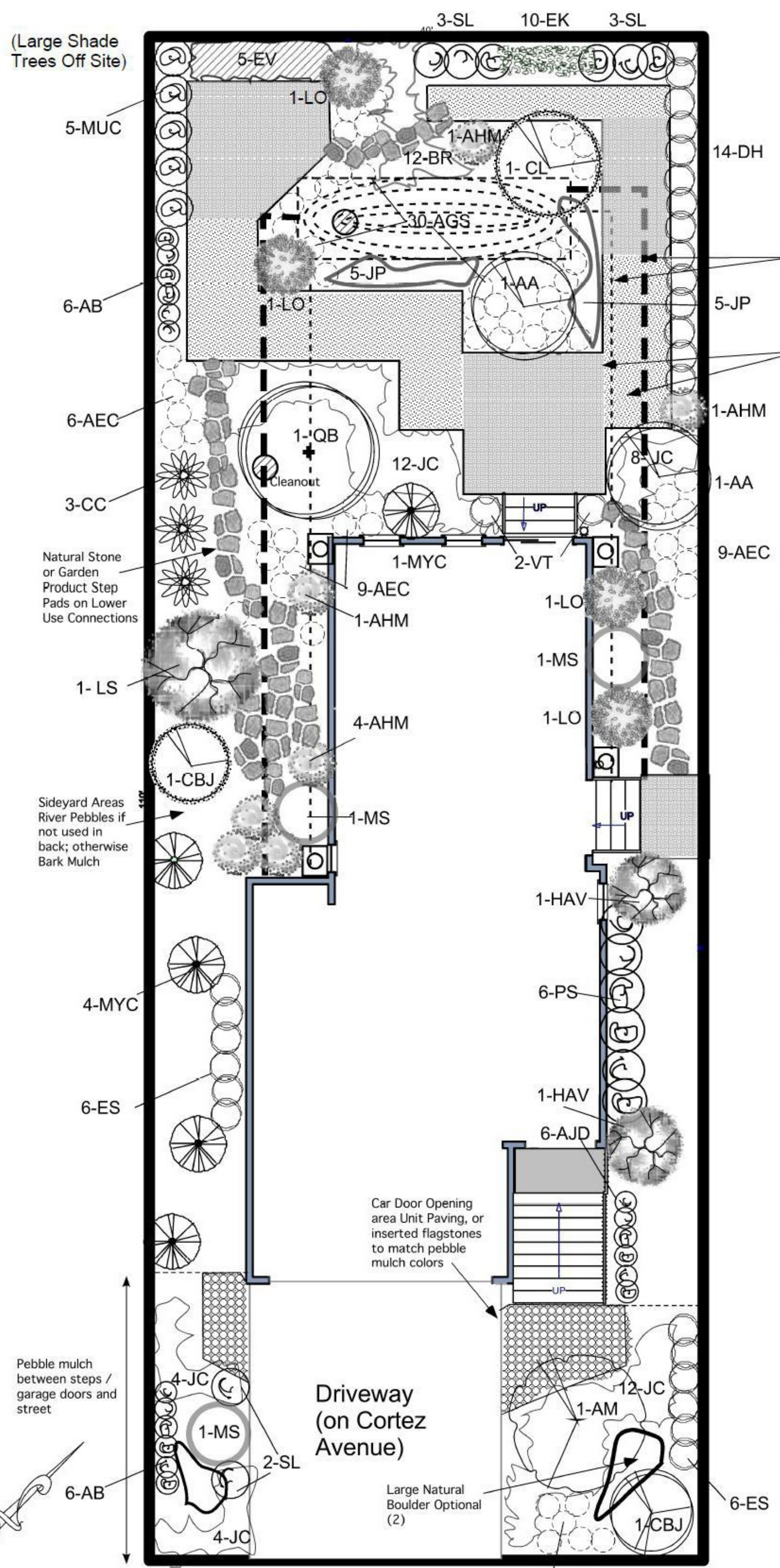
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NOTES: TYPICAL SHRUB PLANTING, INDIVIDUAL PLANTING HOLE

1. DIG PLANTING HOLE AT LEAST 2X THE WIDTH OF THE ROOT BALL OR CONTAINER.
2. SCARIFY SUBGRADE AND SIDES OF PLANTING HOLE WHEN PLANTING IN CLAY SOIL.
3. SET THE TOP OF THE ROOT BALL LEVEL WITH THE SOIL SURFACE, OR 1-2" ABOVE IF THE SOIL IS PRONE TO SETTLING.
4. IF CONTAINER GROWN PLANT, GENTLY SLIDE PLANT OUT OF CONTAINER. DISTURB THE ROOTS.
5. IF B&B PLANT, REMOVE BURLAP FROM AT LEAST THE TOP 12 INCHES OF THE ROOTBALL, WITHOUT DISTURBING THE ROOTBALL. REMOVE ALL CORD FROM THE TRUNK. REMOVE BURLAP AND WIRE BASKET (IF PRESENT) FROM THE ROOT BALL.
6. BACK FILL THE PLANTING HOLE WITH EXCAVATED NATIVE SOIL, BROKEN UP OR TILLED. WATER TO REMOVE AIR POCKETS. DO NOT ADD AMENDMENTS.
7. PLACE PINE STRAW OR BARK MULCH ON THE SURFACE TO A (SETTLED) DEPTH OF 1 TO 3 INCHES.
8. Compost: Project must incorporate compost at a rate of at least four (4) cubic yards per 1,000 sq. ft. to a depth of 6 inches into landscape area (unless contra-indicated by a soil test).
9. Mulch: A minimum 3-inch layer of mulch should be applied on all exposed soil surfaces of planting areas, except in areas of creeping or rooting groundcovers.

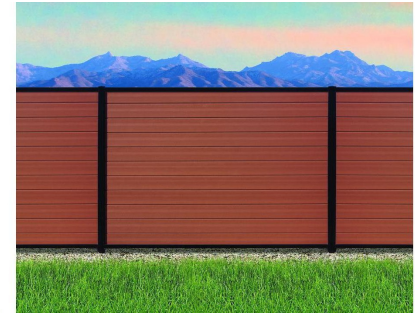
Plant List

| KEY | Quant | Name(s) | Habit | WELO Value |
|------|-------|---|------------------|------------|
| AA * | 2 | Amelanchier alnifolia /Western Service Berry | Medium Shrub | Medium |
| AB | 12 | Abelia floribunda /Mexican Abelia | Low Ev Shrub | Medium |
| AEC | 30 | Arctostaphylos 'Emerald Carpet | Low Ev Shrub | Medium |
| AGS | 30 | Arctostaphylos uva-ursi /Kinnikinnick (add clumps of Iris optional) | Ground Cover | Low |
| AHM | 7 | Arctostaphylos densiflora 'Howard McMinn' | Large Shrub | Low |
| AJD | 6 | Arctostaphylos 'John Dourley' or "Pacific Mist" | Low Ev Shrub | Low |
| AM* | 1 | Arctostaphylos 'Dr Hurd' or "St. Helena" Manzanita | Small Tree | Low |
| BR | 12 | Berberis aquifolium repens /Creeping Barberry | Low Shade Shrub | Low |
| CC | 3 | Callistemon citrinus /Lemon Bottlebrush | Med Shrub | Low |
| CBJ | 2 | Ceanothus concha /Wild Lilac | Med Shrub | Low |
| CL* | 1 | Chilopsis linearis /Desert Willow | Small Tree | Very Low |
| DH | 14 | Dendromecon harfordii /Island Bush Poppy | Lg Ev Shrub | Low |
| EK | 10 | Engeron karvinskianus /Santa Barbara Daisy | Perennial | Unknown |
| ES | 12 | Eragrostis spectabilis /Purple Love Grass | Ornamental grass | Unknown |
| EV | 5 | Euonymus japonicus, silver variegated - trim as hedge | Med Ev Shrub | Low |
| HAV | 2 | Hydrangea aspera villosa /Lacecap | Med Shrub | Medium |
| JC | 40 | Juniperus chinensis 'Gold Coast' | Low Ev. Shrub | Low |
| JP | 10 | Juniperus procumbens /Dwarf Japanese Garden Juniper | Ev GrdCover | Low |
| LO* | 4 | Ligustrum ovalifolium /California Privet, pruned as specimen | Large Shrub | Low |
| LS* | 1 | Leptospermum "Dark Shadows" /Tea Bush | Large Shrub | Low |
| MYC* | 5 | Myrica cerifera or Myrica californica /Waxmyrtle | Ev hedge shrub | Medium |
| MS | 3 | Miscanthus sinensis 'Morning Light' /Maiden Grass | Ornamental grass | Medium |
| MUC | 5 | Muhlenbergia capillaris /Pink Muhly Grass | Ornamental grass | Low |
| PS | 6 | Podocarpus macrophyllus trimmed to wall hedge | Ev Shrub/Tree | Medium |
| QB* | 1 | Quercus berberidifolia /Scrub Oak, treat as specimen | Small Ev Tree | Very Low |
| SL | 8 | Salvia leucophylla /Purple Sage | Med Ev Shrub | Low |
| VT | 2 | Viburnum odoratissimum /Sweet Viburnum | Med Shrub | |

Size:s min 2-3 gal. unless otherwise noted with *
 plant 3 -5 gal. evergreens and 4-5 ft. trees as available;
 Natives: Source Yerba Buena Nursery



1/4"=1'-0" Planting Layout (See Rendering Sheet for Reference Measurements)



6 ft Horizontal fence Redwood on the north and east side

3D Views are Not to Scale and May Not Reflect The Actual Conditions

LANDSCAPING Plan
 Designed by Leslie B. Wagle

Owner: Zafar Irfan & Bina Mojin

**LOT 9 BLOCK 8, SHORE ACRES,
 3-RSM-PG095
 COUNTY OF SAN MATEO, CA
 APN 048-032-070**

DATE:
 4/26/2019

Rev 3
 1/4" = 1'0"

SHEET:

INSPECTION NOTES:

1. PROVIDE SPECIAL INSPECTION, SPECIAL TESTING, REPORTING AND COMPLIANCE PROCEDURES ACCORDING TO THE LOCAL BUILDING CODE.

2. SPECIAL INSPECTOR QUALIFICATIONS: DEMONSTRATE COMPETENCE, TO THE SATISFACTION OF THE BUILDING OFFICIAL, FOR INSPECTION OF THE PARTICULAR TYPE OF CONSTRUCTION OR OPERATION IN QUESTION. PRIOR TO THE BEGINNING OF CONSTRUCTION, REVIEW THE SPECIAL INSPECTION REQUIREMENTS WITH THE ARCHITECT, ENGINEER, BUILDING OFFICIAL, GENERAL CONTRACTOR AND SPECIAL INSPECTORS. DUTIES OF THE SPECIAL INSPECTOR INCLUDE, BUT ARE NOT LIMITED TO:

A. OBSERVE THE WORK FOR CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS. BRING DISCREPANCIES TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR BUILDING OFFICIAL.

B. FURNISH INSPECTION REPORTS FOR EACH INSPECTION TO THE BUILDING OFFICIAL, ARCHITECT, ENGINEER, GENERAL CONTRACTOR AND OWNER IN A TIMELY MANNER.

C. SUBMIT A FINAL REPORT STATING WHETHER THE WORK REQUIRING SPECIAL INSPECTION WAS INSPECTED, AND WHETHER THE WORK IS IN CONFORMANCE WITH THE APPROVED PERMIT DRAWINGS AND SPECIFICATIONS.

3. DUTIES OF THE CONTRACTOR INCLUDE, BUT ARE NOT LIMITED TO:
A. NOTIFY SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST 24 HOURS BEFORE THE INSPECTION IS REQUIRED.

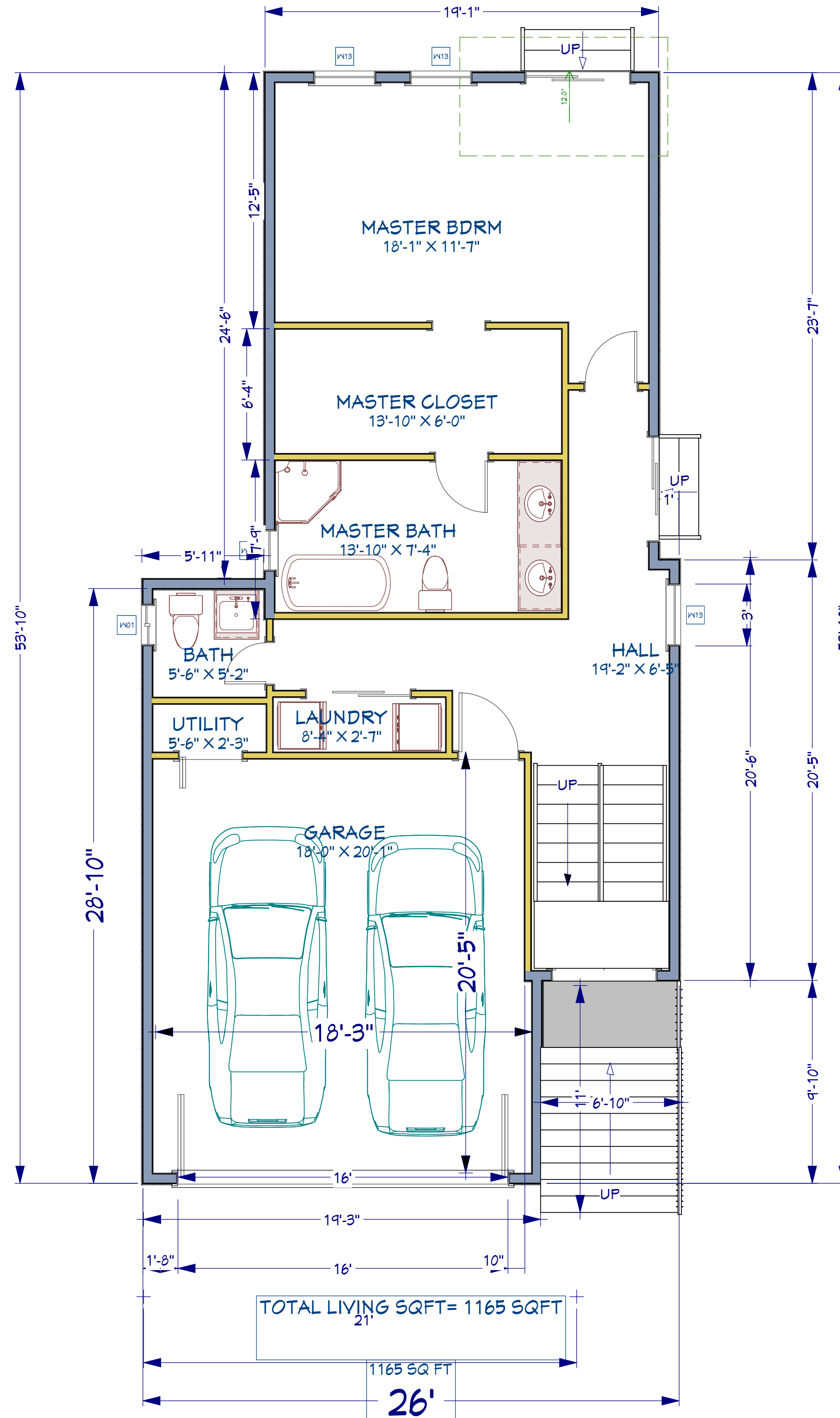
B. MAINTAIN ACCESS TO WORK REQUIRING SPECIAL INSPECTION UNTIL IT HAS BEEN OBSERVED AND INDICATED TO BE IN CONFORMANCE BY THE SPECIAL INSPECTOR AND APPROVED BY THE BUILDING OFFICIAL.

C. PROVIDE THE SPECIAL INSPECTOR WITH ACCESS TO APPROVED PERMIT DRAWINGS AND SPECIFICATIONS AT THE JOB SITE.

D. MAINTAIN JOB-SITE COPIES OF ALL REPORTS SUBMITTED BY THE SPECIAL INSPECTOR.

1. ALL EXTERIOR DIMENSIONS ARE TO THE MAIN LAYER. DIMENSIONS TO OPENINGS ARE TO THE FRAMING, ROUGH OPENING. INTERIOR DIMENSIONS ARE TO THE FINISHED WALL.

2. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).



LOT COVERAGE

BUILDING + EXTERIOR STAIRS

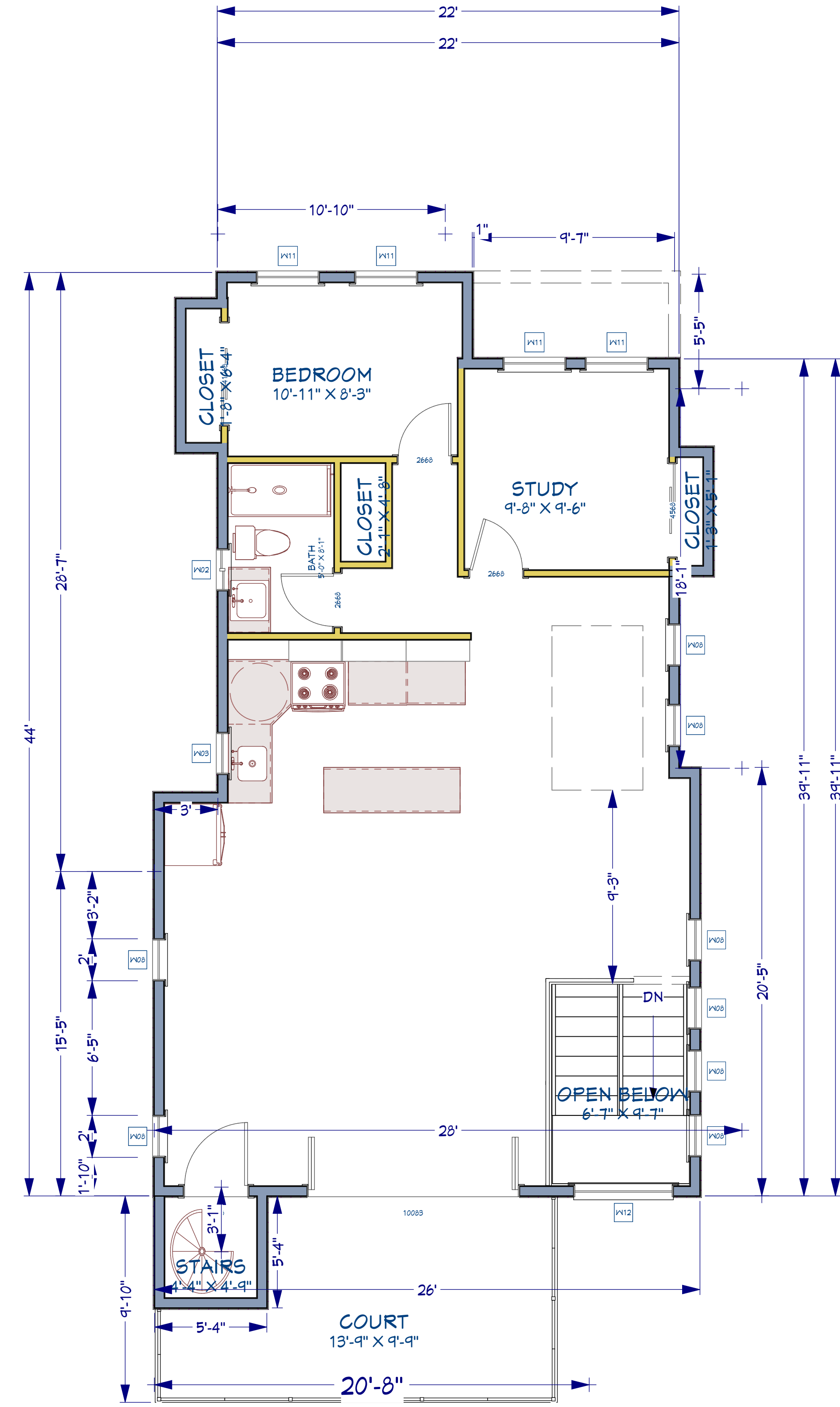
1165 SQFT + 77 SQFT = 1242 SQFT

1st Floor

First floor living area = 1165 sqft

Second floor living area = 947 sqft

Total Square footage = 1165+947 = 2112 SQFT, Allowed 2112 SQFT



LIVING AREA
947 SQ FT

| WINDOW SCHEDULE | | | | | | | | | | |
|-----------------|---------|-----|-------|---------|-------|--------|---------|--------|--------------|-------------|
| NUMBER | LABEL | QTY | FLOOR | SIZE | WIDTH | HEIGHT | R/O | EGRESS | DESCRIPTION | HEADER |
| W01 | 2010LS | 1 | 1 | 2010LS | 24" | 12" | 25"X13" | | LEFT SLIDING | 2X6X28" (2) |
| W02 | 2010LS | 1 | 2 | 2010LS | 24" | 12" | 25"X13" | | LEFT SLIDING | 2X6X28" (2) |
| W03 | 2030SH | 1 | 2 | 2030SH | 24" | 36" | 25"X37" | | SINGLE HUNG | 2X6X28" (2) |
| W04 | 2040SH | 1 | 1 | 2040SH | 24" | 48" | 25"X49" | | SINGLE HUNG | 2X6X28" (2) |
| W08 | 2060SH | 8 | 2 | 2060SH | 24" | 72" | 25"X73" | | SINGLE HUNG | 2X6X28" (2) |
| W11 | 3040SH | 4 | 2 | 3040SH | 36" | 48" | 37"X49" | | SINGLE HUNG | 2X6X40" (2) |
| W12 | 49411FX | 1 | 2 | 49411FX | 57" | 59" | 58"X60" | | FIXED GLASS | 2X8X61" (2) |
| W13 | 3040SH | 3 | 1 | 3040SH | 36" | 48" | 37"X49" | | SINGLE HUNG | 2X6X40" (2) |

3D Views are Not to Scale and May Not Reflect The Actual Conditions

FLOOR PLANS

Owner: Zafar Irfan & Bina Moin

LOT 9 BLOCK 8, SHORE ACRES,
3-RSM-PG095
COUNTY OF SAN MATEO, CA
APN 048-032-070

DATE:

4/26/2019

Rev 3

1/4" = 1'0"

SHEET:

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STUCCO
Silent White , Behr Model # PPU26-13

ROOF FACIA BOARDS
Dark Ash Model # T10F-5 (TC-41)

Wood Stain
Varathane Penetrating Stain
Red Oak



FRONT ELEVATION

Wood Stain
Varathane Penetrating Stain
Red Oak

STUCCO
Silent White , Behr Model # PPU26-13

ROOF FACIA BOARDS
Dark Ash Model # T10F-5 (TC-41)

Cable Railing

Vinyl Siding
Color Bher Silver Bullet N520-2 (tc-34)

All Windows= Black Aluminium

Vinyl Siding
Color Bher Pencil Sketch N500-4 (TC-33)



RIGHT SIDE ELEVATION

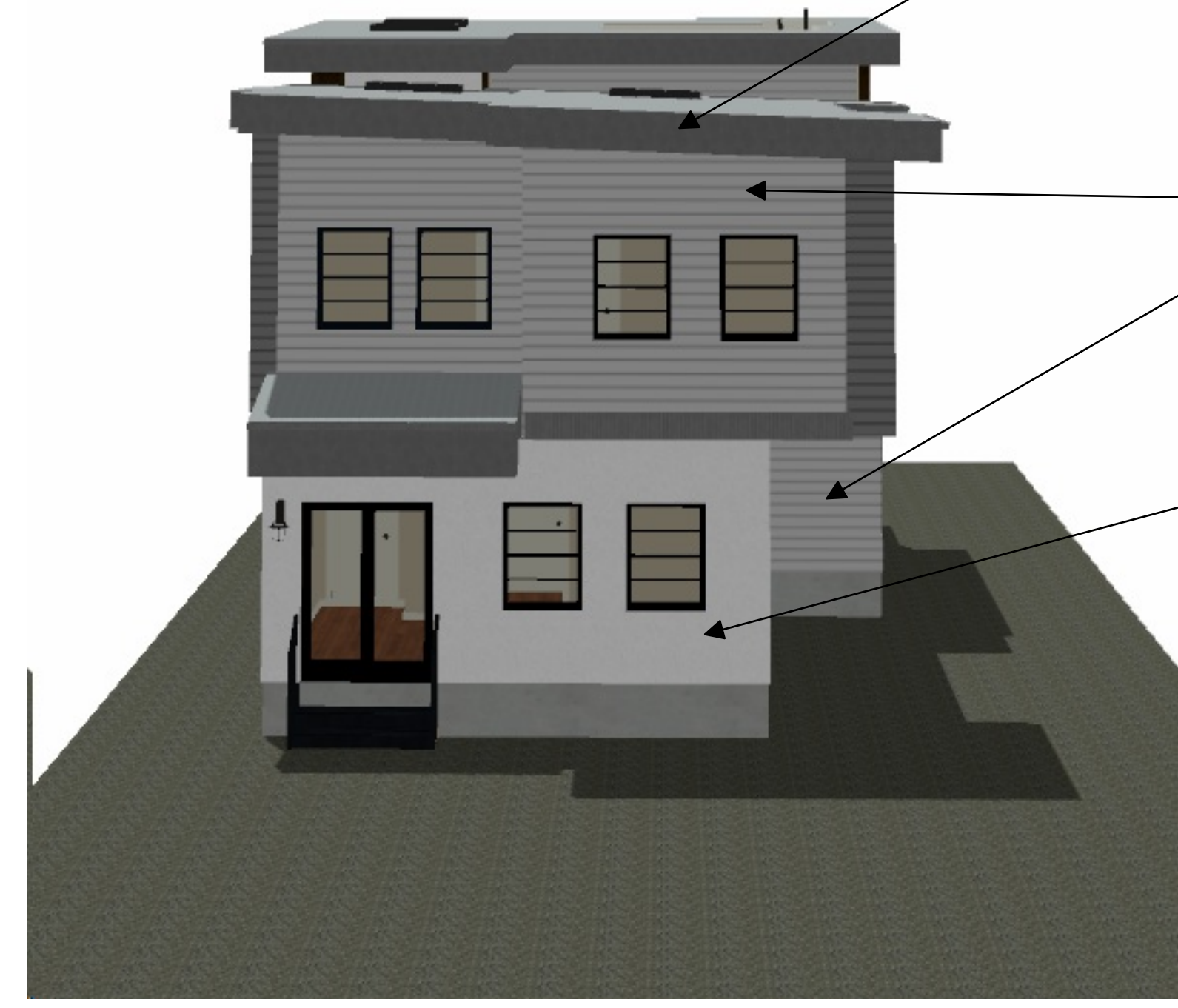
| | | | | |
|-----------------|----------------------|----------------------|-----------------------|-------------------------------|
| Dark Ash 770F-5 | Pencil Sketch N500-4 | Silver Bullet N520-2 | Silent White PPU26-13 | Red Oak 266269 - Half Pint |
|-----------------|----------------------|----------------------|-----------------------|-------------------------------|

All Windows= Black Aluminium

ROOF FACIA BOARDS
Dark Ash Model # T10F-5 (TC-41)

Vinyl Siding
Color Bher Silver Bullet N520-2 (tc-34)

STUCCO
Silent White , Behr Model # PPU26-13



REAR SIDE ELEVATION

Wood Stain
Varathane Penetrating Stain
Red Oak

Cable Railing

ROOF FACIA BOARDS
Dark Ash Model # T10F-5 (TC-41)

Vinyl Siding
Color Bher Pencil Sketch N500-4 (TC-33)

Vinyl Siding
Color Bher Silver Bullet N520-2 (tc-34)

STUCCO
Silent White , Behr Model # PPU26-13



All Windows= Black Aluminium

LEFT SIDE ELEVATION

ELEVATIONS

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Elevations

Owner: Zafar Irfan & Bina Mojin

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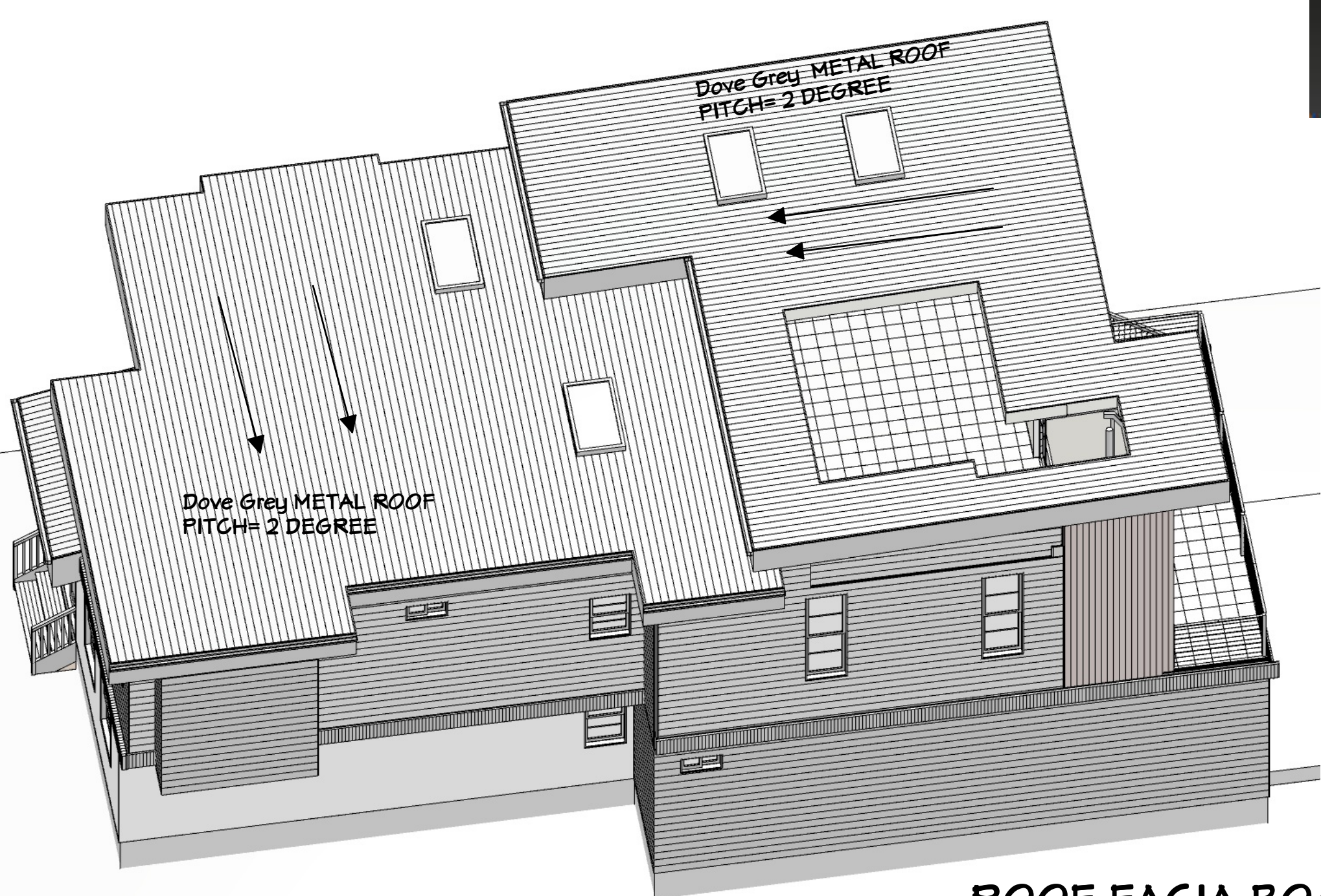
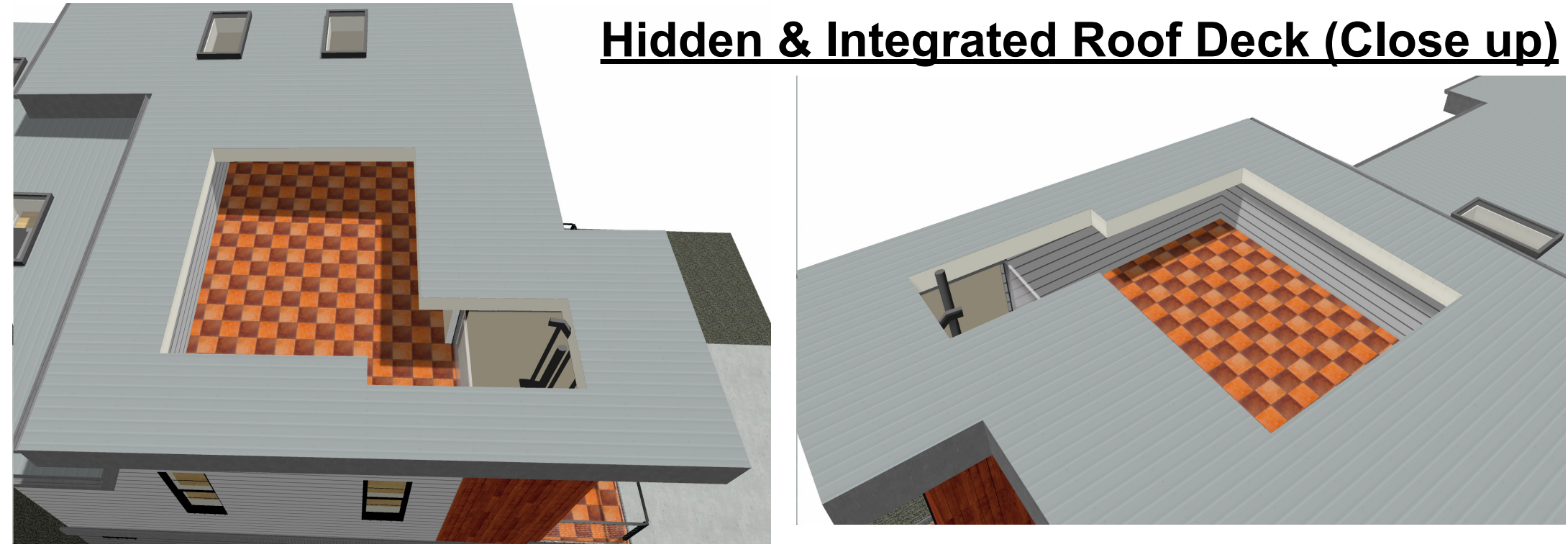
- RMS-Snap Lock Series**
- Lok Seam metal roofing system
 - Galvanized, Galvalume, Aluminum, and Copper
 - Available 12", 16" and 20"
 - UL90 rated
 - Kynar 500 Finish with a twenty year warranty
 - Continuous length panels
 - Optional stiffening ribs and striations (to minimize oil canning)
 - 100 mph Wind Driven Rain Infiltration Resistance Tested

Steel Roof Panel Details

Color = Dove Grey

RMS STEEL ROOFING ,SAN JOSE

Hidden & Integrated Roof Deck (Close up)

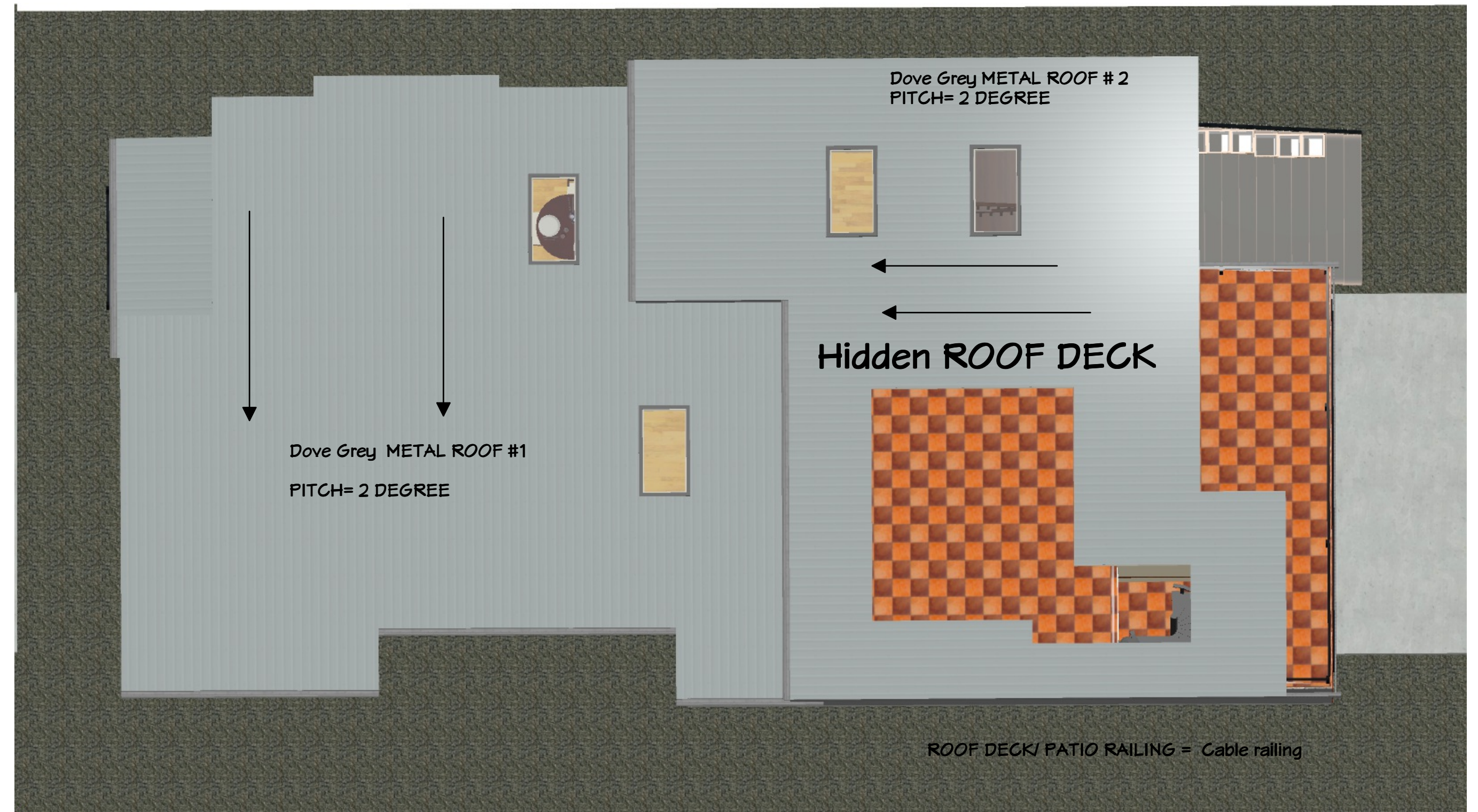


ROOF FACIA BOARD WIDTH = 18 inches (Box Soffit)

Roof Deck completely hidden , integrated into the roof design



Highest Roof Ridge line 27'



ROOF # 1 AREA = 740 SQFT

ROOF # 2 AREA = 533 SQFT

ROOF DECK AREA = 194 SQFT (Reduced from 300 SQFT)

ROOF / DECK PLAN



Roof Deck & Stairs not visible from any side

3D Views are Not to Scale and May Not Reflect The Actual Conditions

ROOF and Roof Deck Plan

Owner: Zafar Irfan & Bina Mojin

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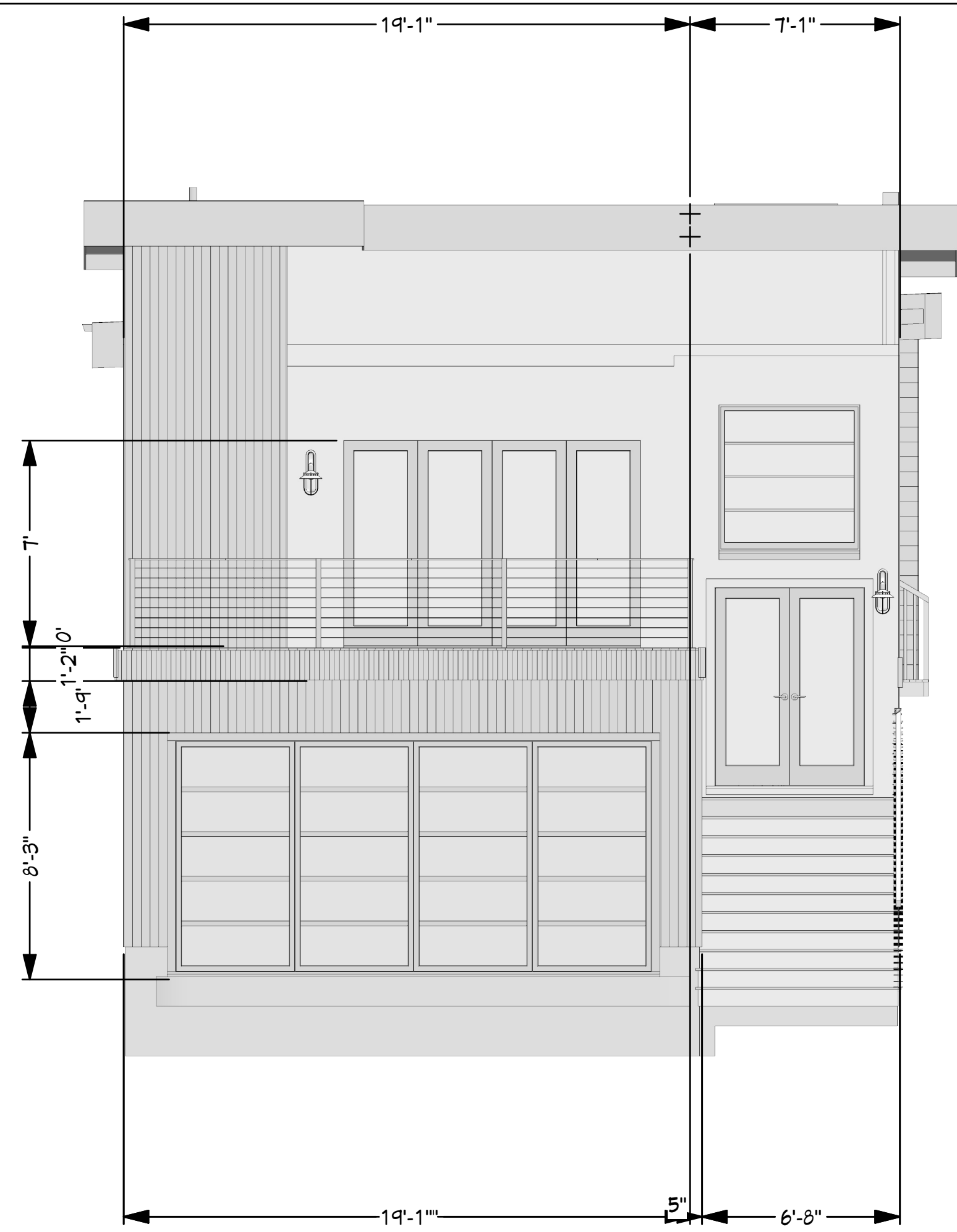
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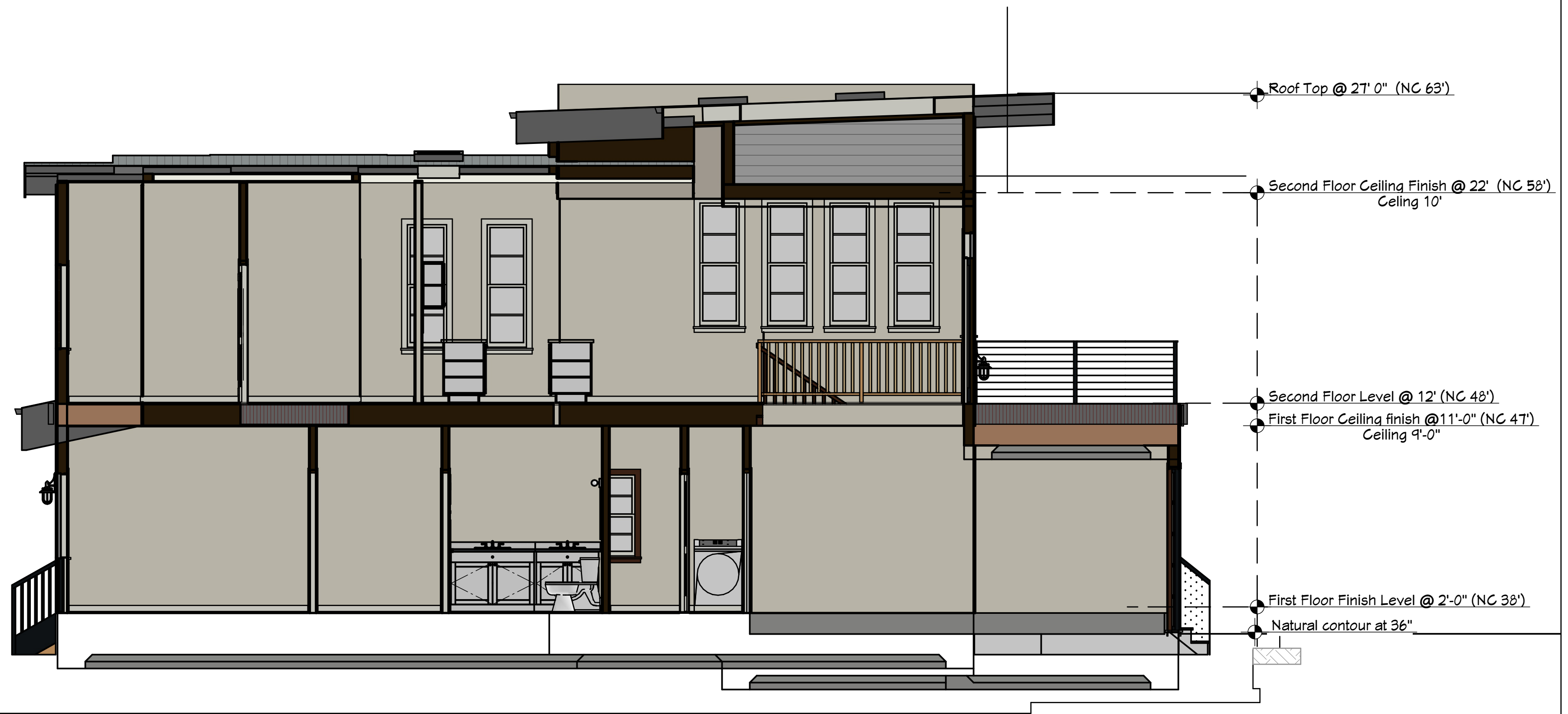
Rev 3

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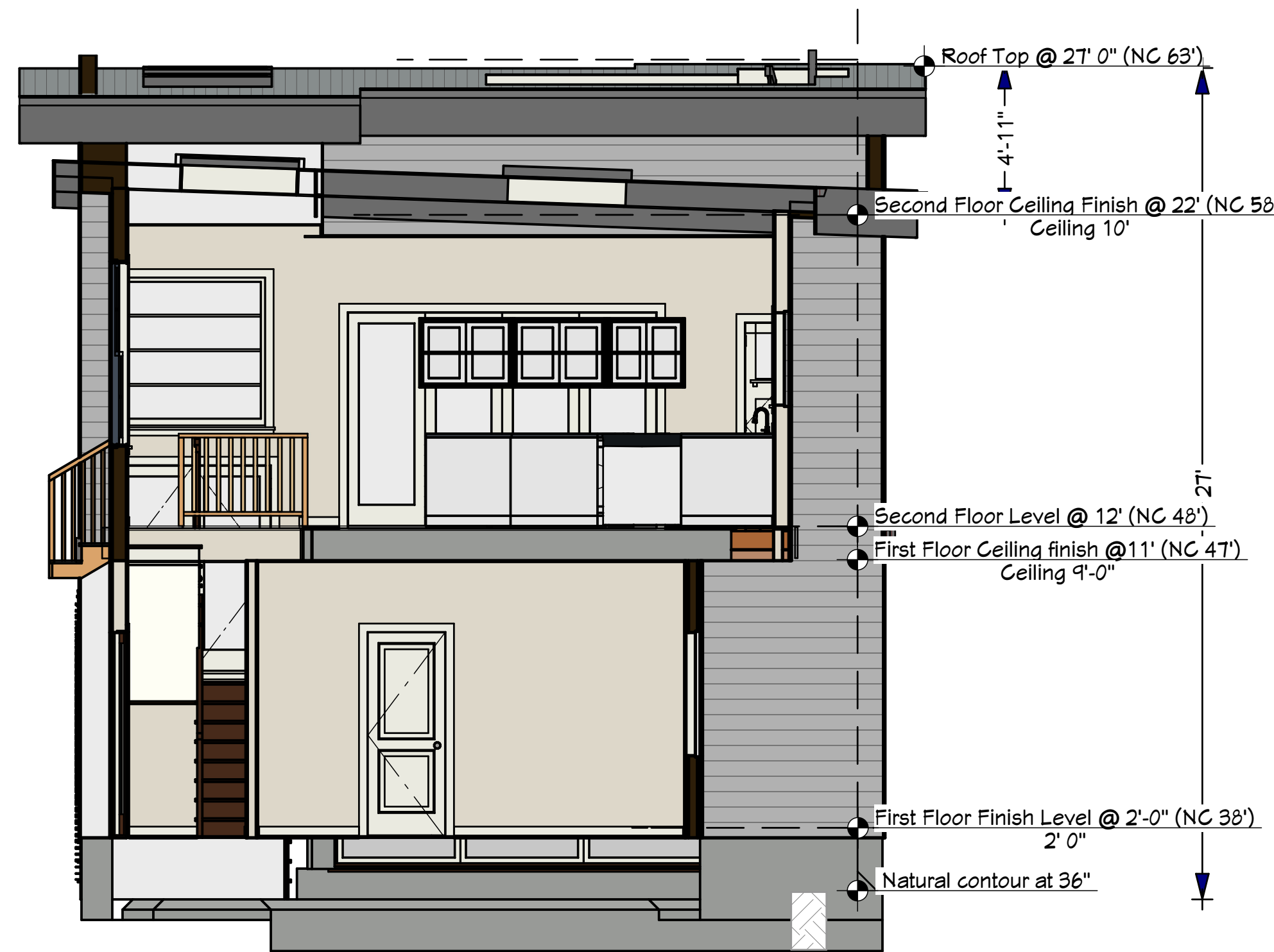
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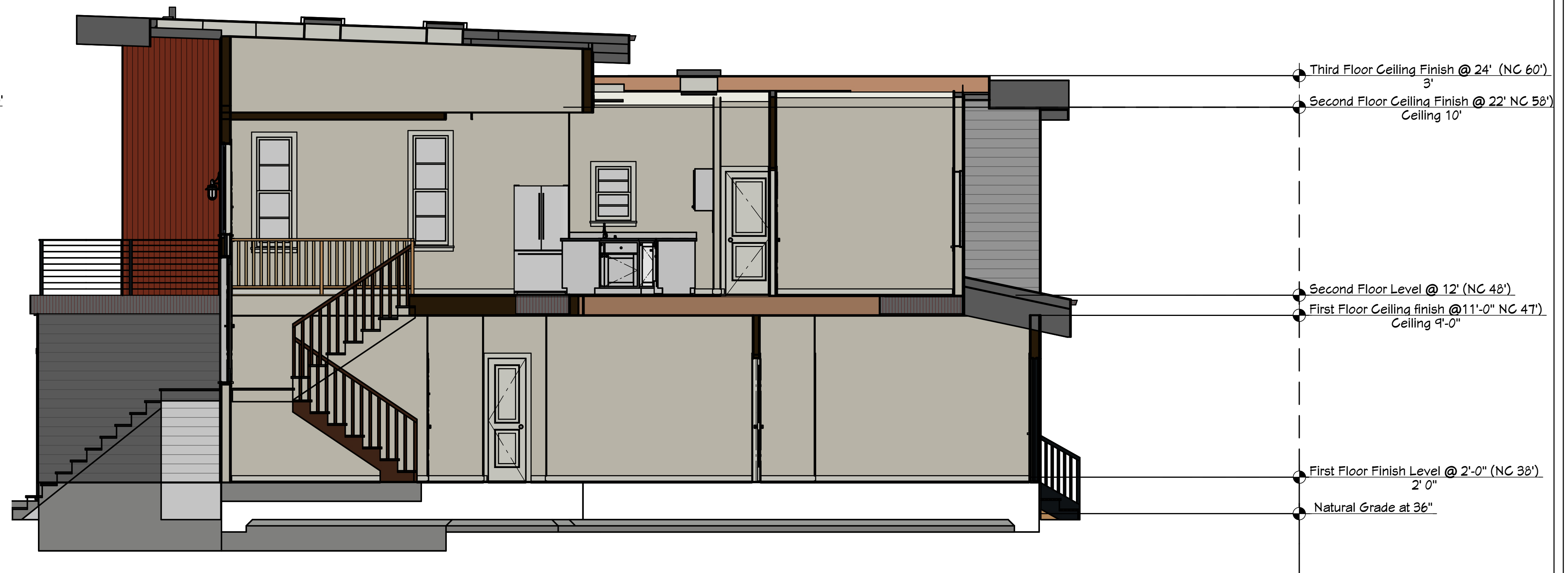
FRONT CROSS SECTION



LEFT SIDE CROSS SECTION



REAR CROSS SECTION



RIGHT SIDE CROSS SECTION

SCALE 1/4" = 1'

3D Views are Not to Scale and May Not Reflect The Actual Conditions

CROSS SECTIONAL ELEVATIONS

Owner: Zafar Irfan & Bina Mojin

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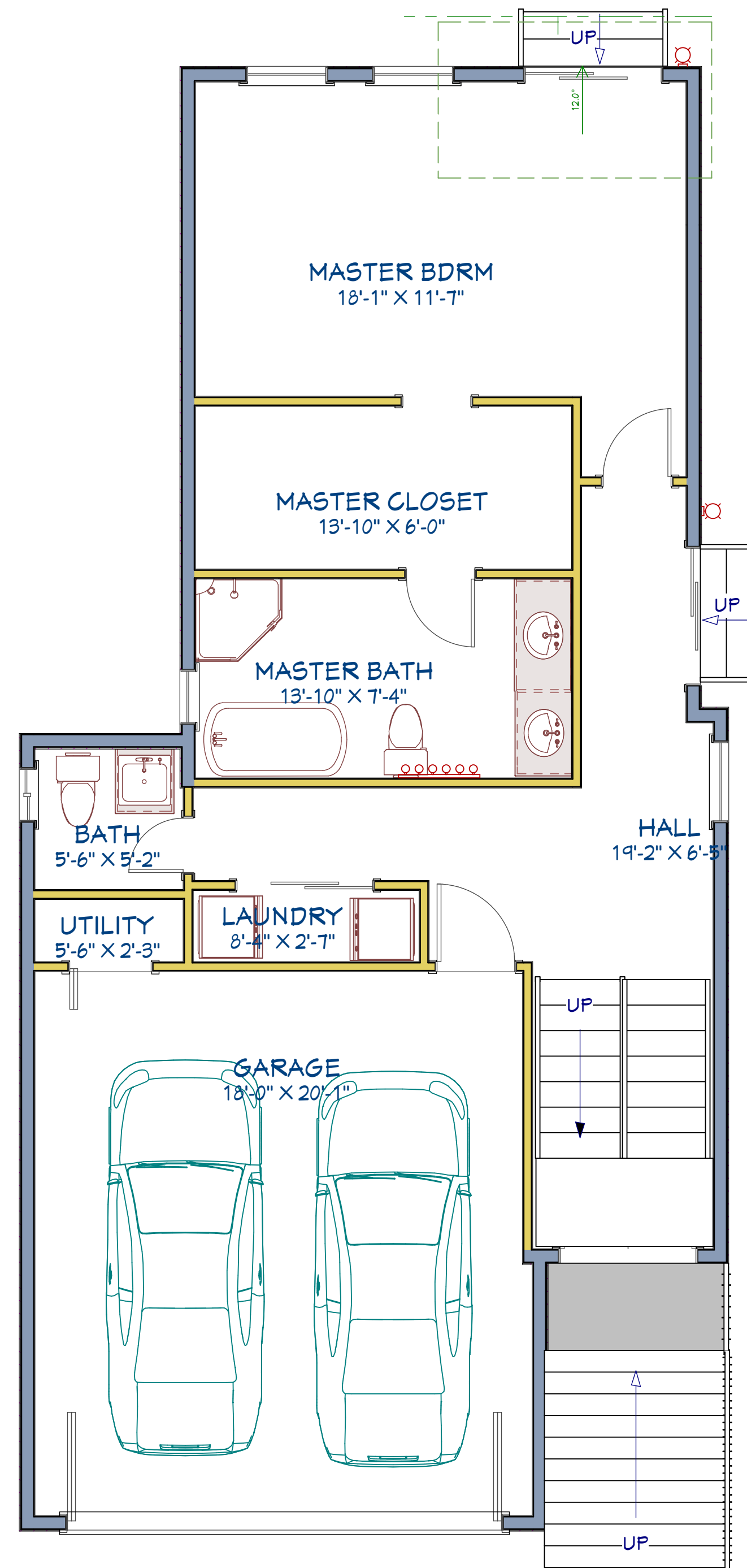
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1/4" = 1'0"

SHEET:

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TOTAL LIVING SQFT= 1165 SQFT
1165 SQ FT

1st Floor

EXTERIOR LIGHTENING PLAN

DARK SKY CERTIFIED LIGHT

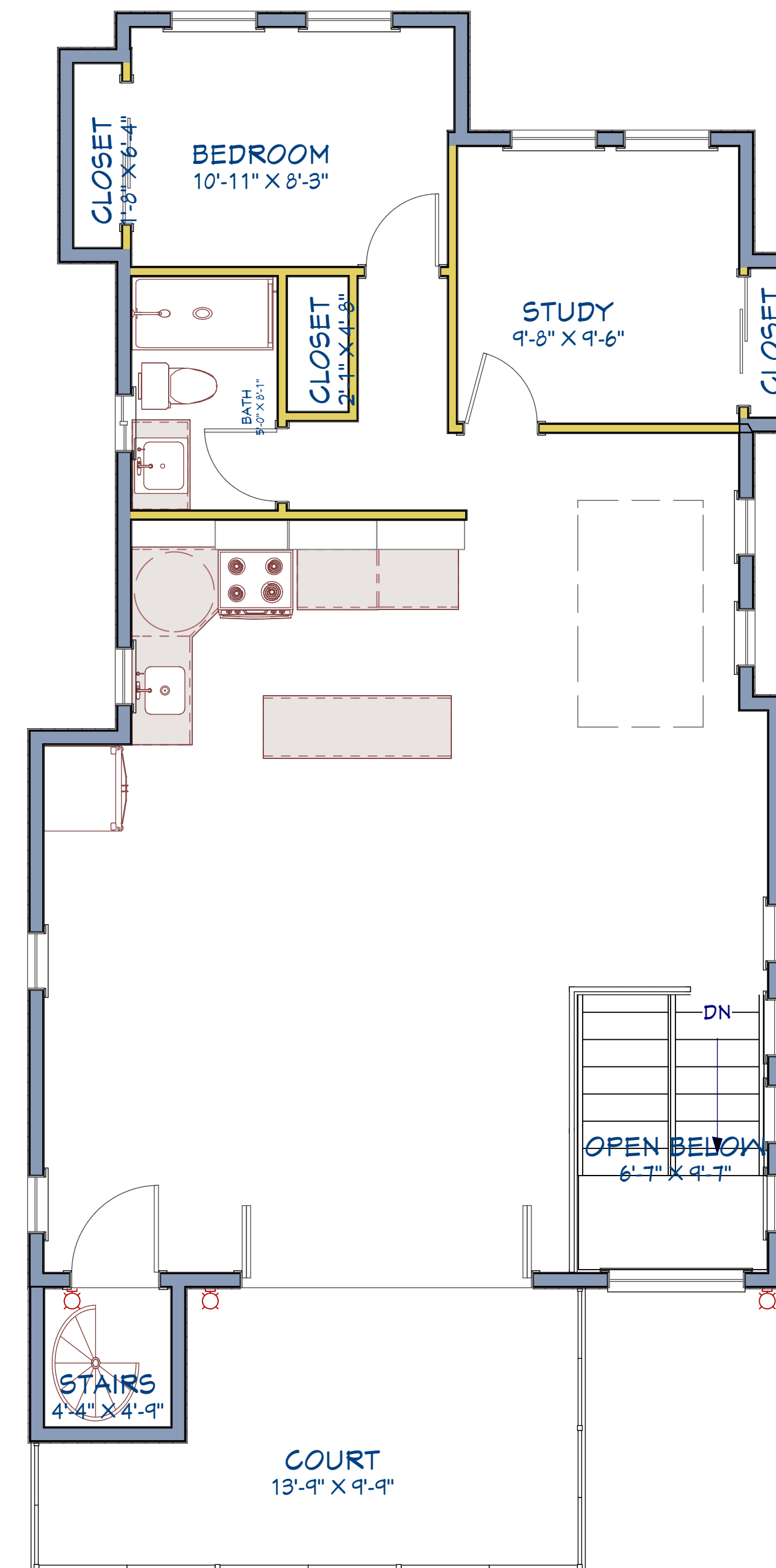


EXTERIOR WALL LIGHTS:

Model # IZC1691L-2
Black LED Outdoor Wall Lantern with Frosted Glass



| LED lighting facts | |
|--|---------------------|
| A Program of the U.S. DOE | |
| Light Output (Lumens) | 360 |
| Watts | 5.5 |
| Lumens per Watt (Efficacy) | 65.45 |
| Color Accuracy Color Rendering Index (CRI) | 80 |
| Light Color Correlated Color Temperature (CCT) | 3000 (Bright White) |
| | |
| <small>All results are according to IESNA LM-79-008: Approved Method for the Electrical and Photometric Testing of Solid-State Lighting. The U.S. Department of Energy (DOE) verifies product test data and results.</small> | |
| <small>Visit www.lightingfacts.com for the Label Reference Guide.</small> | |
| <small>Registration Number: SETH-HRNQHS (3/2/2016) Model Number: IZC1691L-2 Type: Luminaire - Directional</small> | |



LIVING AREA
947 SQ FT

2nd Floor

Reduced Ligtening only 4 exteiror lights total

3D Views are Not to Scale and May Not Reflect The Actual Conditions

Exterior LIGHTENING Plan

Owner: **Zafar Irfan & Bina Mojin**

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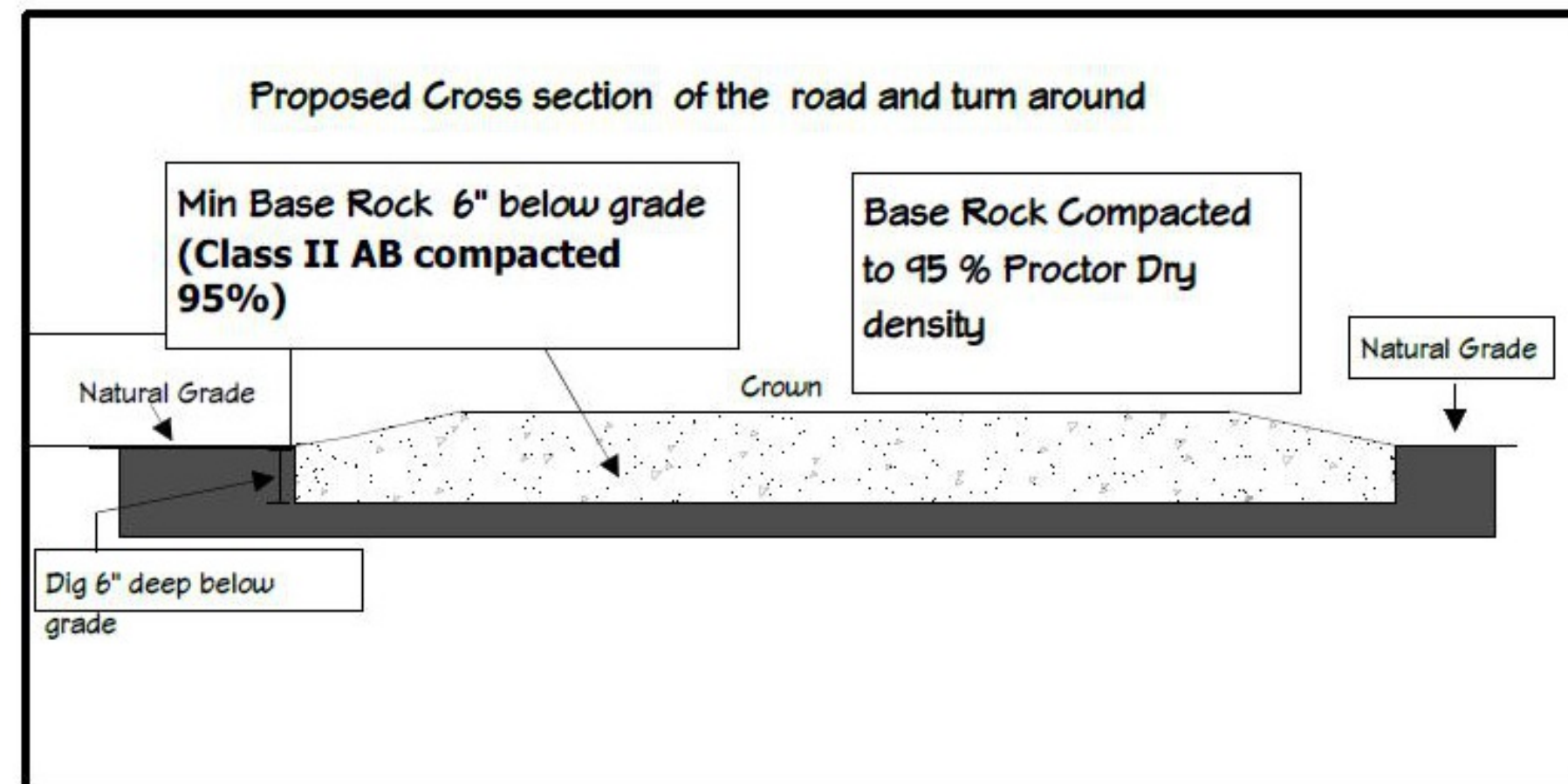
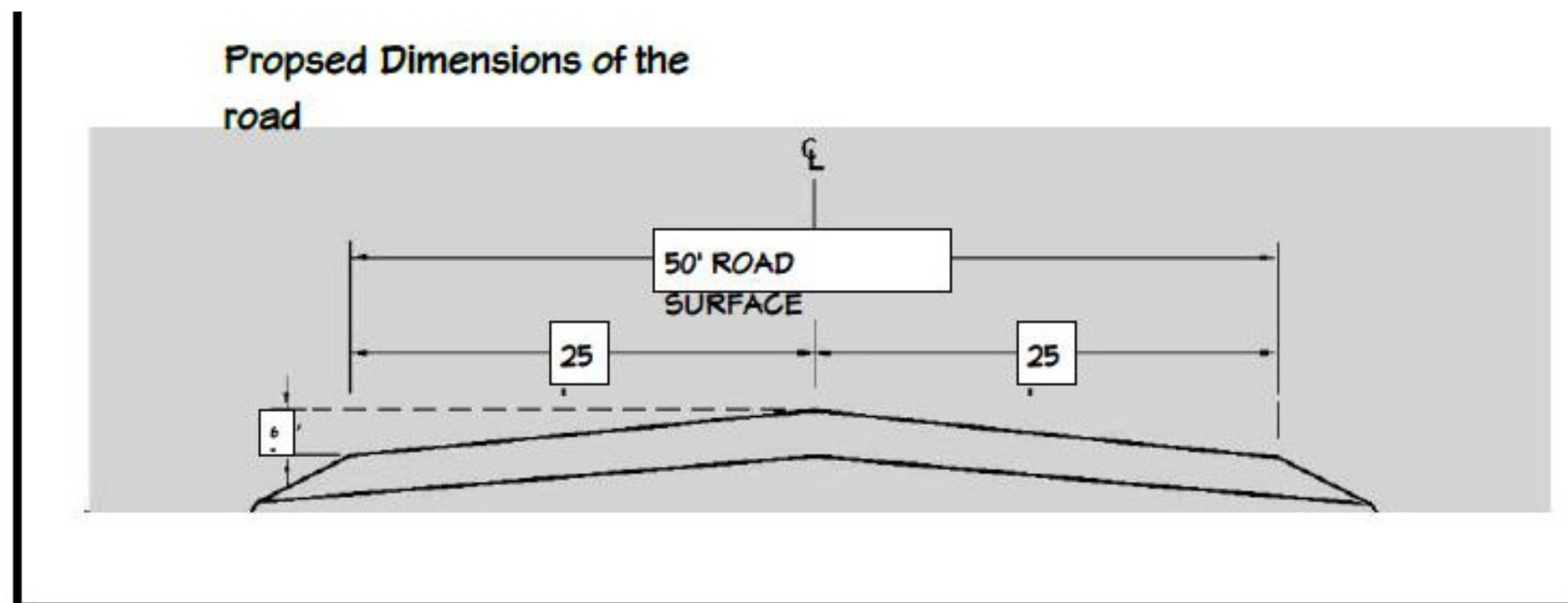
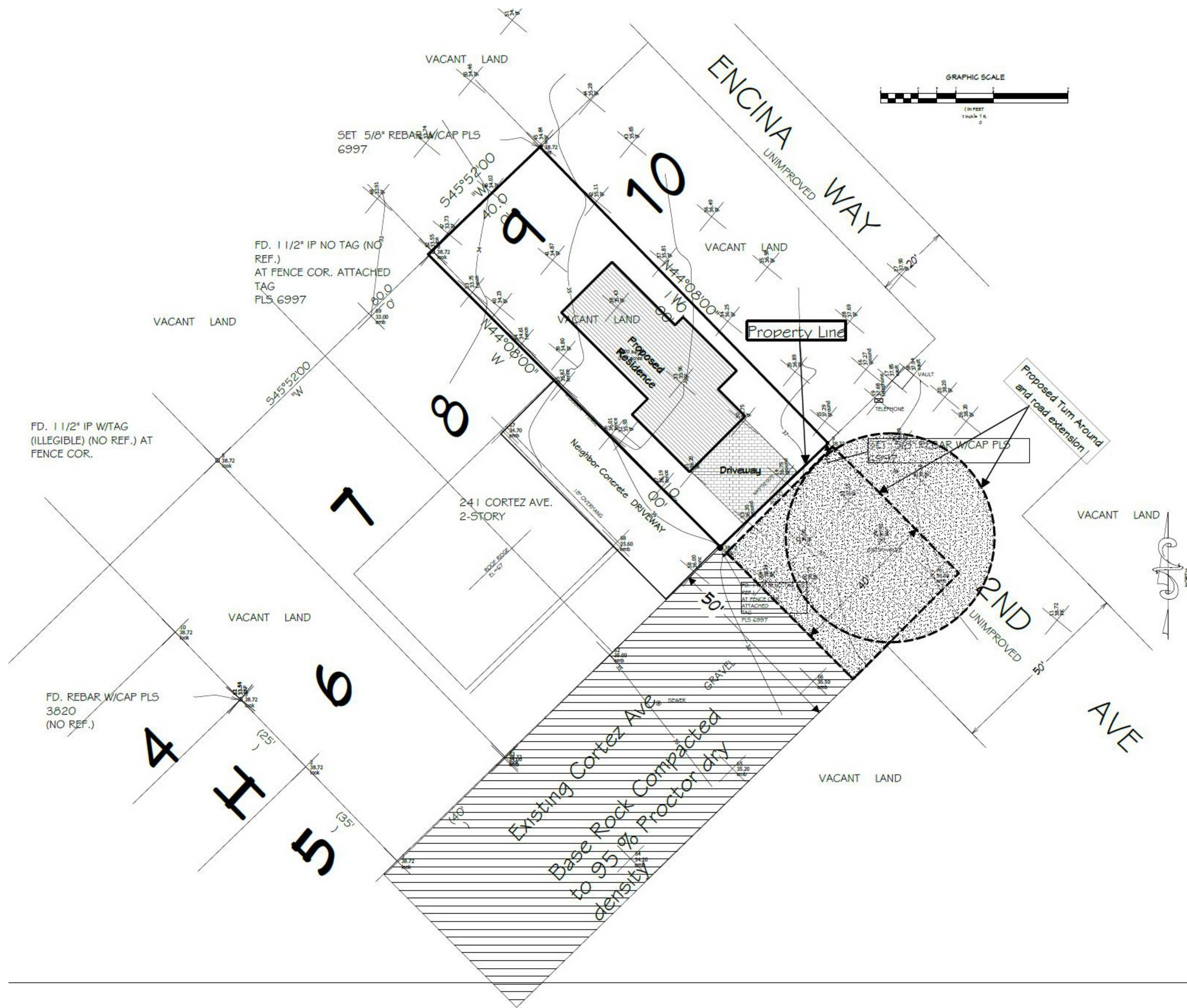
DATE:

4/26/2019

Rev 3

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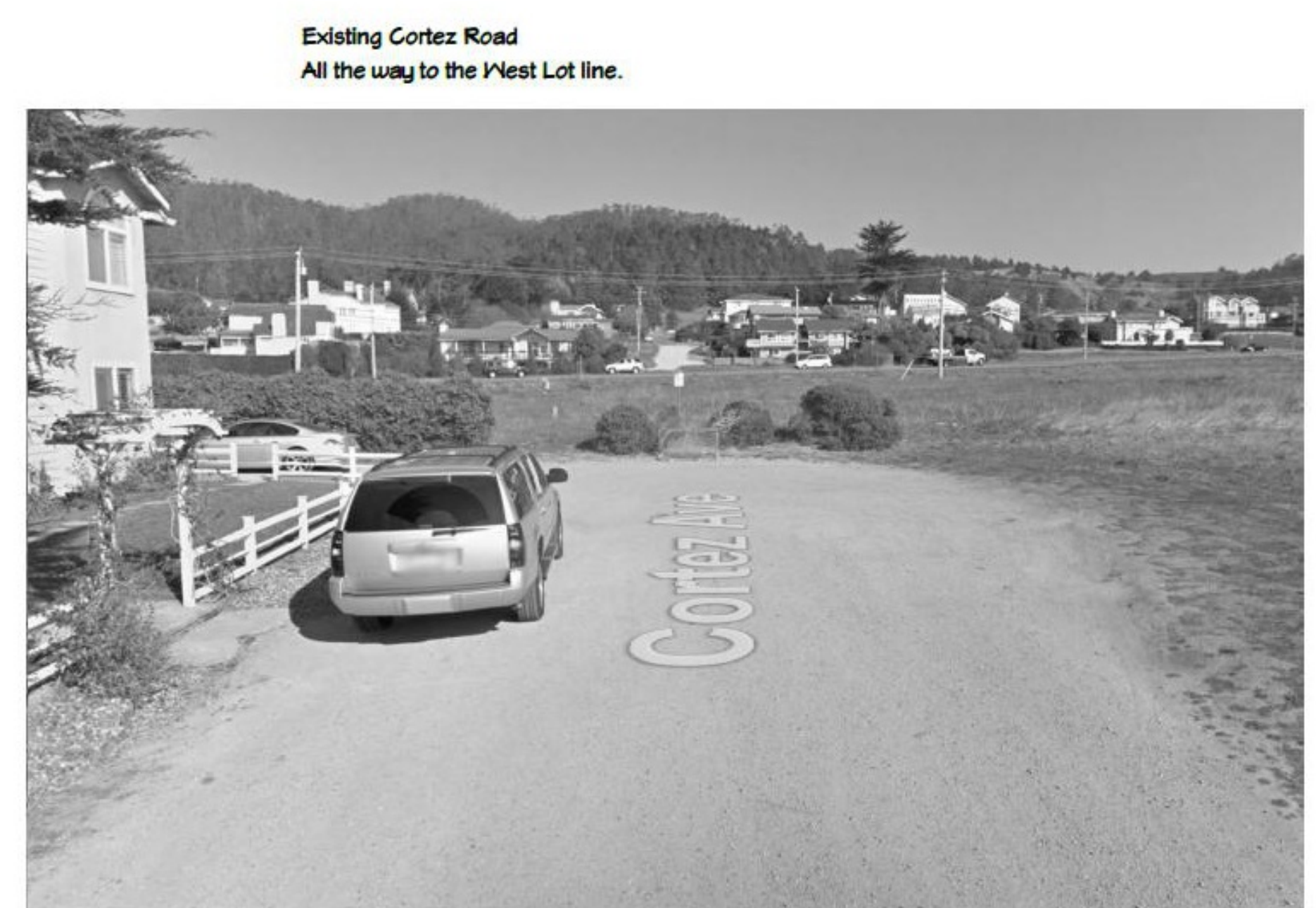


- Notes:**
- 1) Level the road area, remove any vegetation.
 - 2) Remove 6" inch of sand from grade level.
 - 3) Use 6" Base Rock ONLY (NO GRAVEL)
 - 4) Compact Base rock to 95% Proctor Dry Density
 - 5) Make a crown on top of the road as shown on the plans

Extending Cortez Ave, 40ft and turn around for fire Truck

No tree needs to be removed.

Leveled area.



3D Views are Not to Scale and May Not Reflect The Actual Conditions

Road Plan

Owner: Zafar Irfan & Bina Mojin

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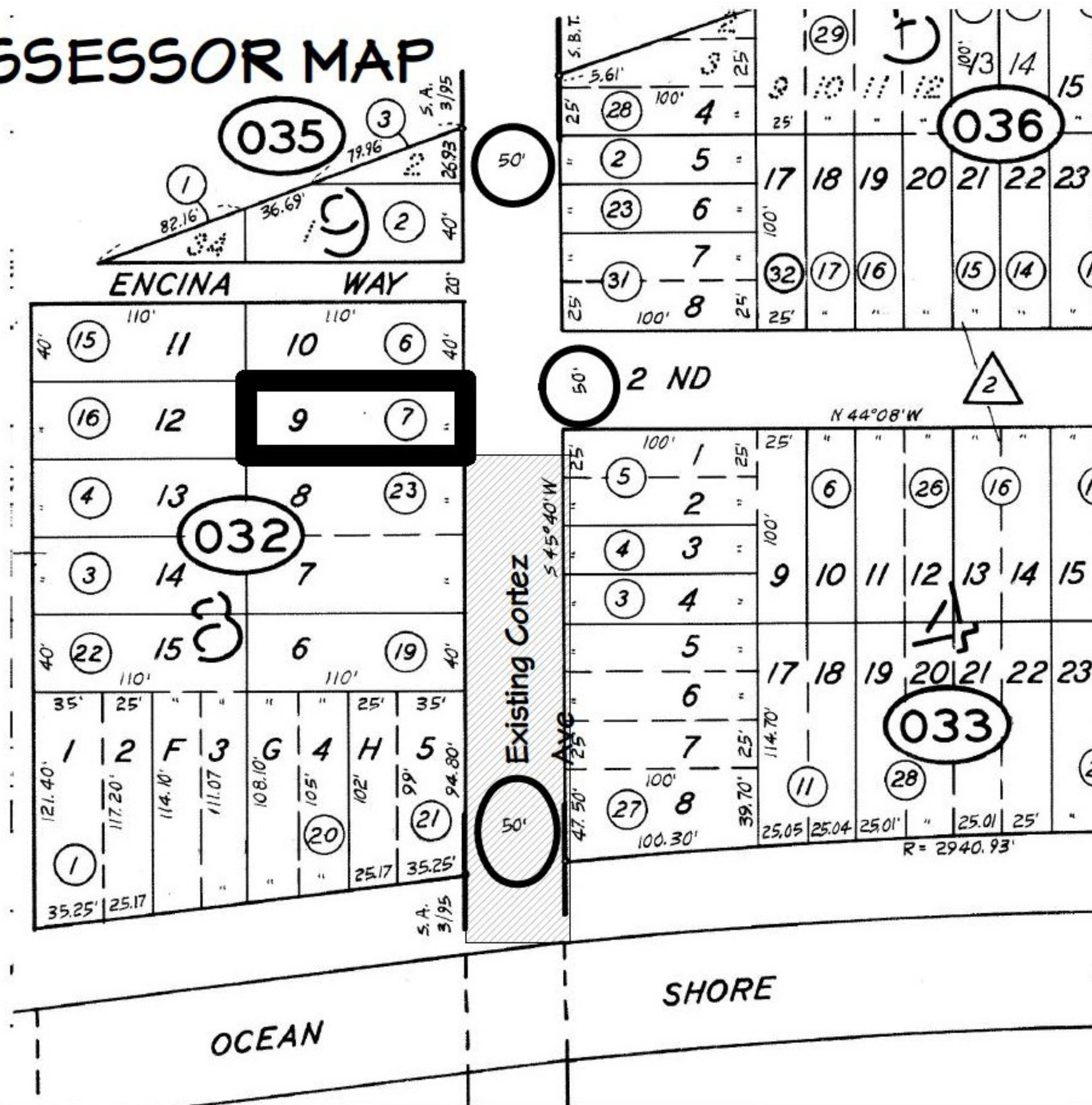
11



Proposed Cortez Extension

Need covering the road

SAN MATEO ASSESSOR MAP



Need covering the road



Cortez Ends here. Extend 40ft from here, width of Proposed house.

3D Views are Not to Scale and May Not Reflect The Actual Conditions

Road Plan

Owner: Zafar Irfan & Bina Mojin

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SHEET:

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